





**CITY OF DANIA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT**

DATE: August 28, 2012

TO: Robert Baldwin, City Manager

VIA: Marc LaFerrier, AICP, Director 

FROM: Corinne Lajoie, AICP, LEED Green Associate, Principal Planner 

SUBJECT: **VA-35-12 / SP-34-11** - The applicant, Bermello, Ajamil & Partners, Inc., is requesting variances and site plan approval for the construction of a 181 unit, 12-story, residential development at property located east of SE 5 Avenue on Dania Beach Boulevard.

VARIANCE

1. To provide a zero foot setback between the east property line and the vehicle use area; code requires a five (5) feet minimum, per Section 275-90(2).
2. To provide zero trees between the east property line and the vehicle use area; code requires one (1) tree for each forty (40) linear feet, per Section 275-90(2).

SITE PLAN

To allow the construction of a 181-unit, 12-story, residential development and associated parking garage.

PROPERTY INFORMATION

EXISTING ZONING:	Gateway-Mixed Use (GTWY-MU)
LAND USE DESIGNATION:	Regional Activity Center (RAC)
OVERLAY DISTRICT:	Community Redevelopment Agency (CRA) Commercial Arterial Design District

The subject property is the location of the former San Soucey motel on East Dania Beach Boulevard. The property owner obtained site plan approval for the construction of a new hotel on this property in 2010. Since the change in the economy, the applicant now plans to construct an apartment building on the property, which requires approval of a new site plan. The proposed project footprint, landscaping and architecture is substantially the same as was previously approved.

This property is located within the CRA. This application has the support of the CRA Executive Director.

VARIANCE

The applicant is proposing to provide a zero foot setback between the east property line and the vehicle use area. The Land Development Code requires a five (5) foot minimum buffer. The Code also required planting one (1) tree for each forty (40) linear feet between the east property line and the vehicle use area. The applicant is unable to meet these requirements because of the placement of the building and the need to provide fire department access completely around the building. The stabilized surface provided for fire department access extends from the building to the east property, which prohibited the applicant from meeting this code section.

Section 625-40 of the Land Development Code states, the city commission or planning and zoning board, if applicable, shall hold its public hearing and, after consideration of the staff recommendation and public input, if any, may deny, approve or approve with conditions the application for variance, based upon its determination that:

- (1) Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;
- (2) The special conditions and circumstances do not result from the actions of the applicant;
- (3) Granting the variance requested will not confer on the applicant any special privilege that is denied by this code to other lands, buildings or structures in this same zoning district;
- (4) Literal interpretation of the provisions of this code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this code and would work unnecessary and undue hardship on the applicant;
- (5) The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;
- (6) The variance granted will be in harmony with the general intent and purpose of this [Land Development Code](#), and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

SITE PLAN

Site plan approval is being requested to allow the construction of a 181 unit, 12-story residential building with an associated parking garage on a site approximately 2 acres in size. The total project area is 407,607 gross square feet, including the garage. The proposed project footprint, landscaping and architecture is substantially the same as was previously approved.

The applicant has a pre-application letter from FDOT approving the 2 curb cuts on Dania Beach Boulevard, which is valid through May 24, 2013. In addition, the applicant has FAA determination that the structure, built to a height of 133' above ground level (AGL) or 140 feet above mean sea level (AMSL) would not be a hazard to air navigation, with conditions. This determination is valid through November 3, 2012 unless extended.

The project utilizes a 5-level parking garage. The Unified Land Development Code requires the city commission to consider the following issues when reviewing an application for development approval which includes a structured parking facility, utilizing the standards and principles set forth in this article:

- (1) Appearance and architectural treatments to minimize visual impacts, including the use of false facades, liner buildings, or opaque or substantially opaque screening along the perimeter of such structures to conceal parked vehicles from public view
- (2) Effectiveness of landscaping proposed for the top and sides of the structure at reducing the perception of bulk, enhancing the façade, screening the view of parked cars and internal views of the structure; and tying in with other landscape materials used on site to the extent applicable;
- (3) Effectiveness of landscaping, screening and buffering from adjacent single-family and duplex residential zoning districts and uses;
- (4) Lighting;
- (5) Compatibility with adjacent structures, including mass and bulk of structure;
- (6) Vehicular and pedestrian orientation and circulation; and
- (7) Safety and convenience of ingress and egress.

The applicant has indicated that they will be participating in the Sustainable Building Practices Incentive and the Public Parking Incentive to achieve the maximum unit and building height allowed in the GTWY-MU zoning district. Participation in the Sustainable Building Practices requires the applicant to meet several requirements. The applicant has been able to address each of the requirements except the requirement to provide project site and engineering plans clearly detailing all green building measures which are intended to qualify for incentives. The applicant will be required to provide this prior to issuance of a building permit.

Participation in the Public Parking Incentive will require the applicant to construct 30 public parking spaces on site, or pay \$6,500 per parking space, which equals \$195,000. The applicant has indicated that they will participate through the payment-in-lieu of parking and pay the \$195,000 prior to issuance of a building permit.

The Land Development Code requires residential development to provide public park dedication as identified in Section 805-110. Based on the code requirements, the applicant is required to provide .428 acres of dedicated park land. Section 805-110(E)(4) allows dedication above six (6) percent to qualify for private open space credit. In this case 6% is equal to .025 acres. The applicant has indicated that they would like to participate in the private open space credit and payment in lieu of providing park land. The site plan shows a 6,760 square foot (.155 acres) recreation deck on the top level of the parking garage. Provided the applicant records a covenant which runs with the land, in a form acceptable to the city attorney, a credit can be applied, which would result in .273 acres of park land required. Payment in lieu of park land is permitted, the cost of which is to be determined by the City Commission, based upon current appraisals. To date, the applicant has not provided a current appraisal of the subject property and therefore staff cannot determine an accurate value of the land required for dedication.

An environmental assessment of the property was conducted that showed the site has been altered by past development and does not contain any natural systems or native un-altered habitat due to adjacent developments and exotic vegetation encroachment.

The applicant received the Final School Capacity Availability Determination from Broward County School Board that determined the new development would result in no new students to the school system.

Approval of this site plan will return the 240 previously approved hotel rooms back to the RAC, resulting in 278 hotel rooms available. In addition, 1,418 high rise units are currently available in the RAC. Site plan approval of this project will reduce this number to 1,237 high rise units available.

The site plan was reviewed by the Fire Marshal, Public Services, the City's landscape consultant and the Planning Division. The following staff comments must be addressed by the applicant prior to issuance of a building permit:

1. Provide copy of recorded r-o-w dedication prior to issuance of a building permit (Planning).
2. DEDICATION OF PARK LAND: Per Section 805-110, please identify park acreage required for dedication along with calculations. If payment in lieu of dedication is proposed, provide a current appraisal of the subject property (Planning).
3. Construction of 30 public parking spaces on site, or pay \$6,500 per parking space, which equals \$195,000, is required to participate in the Public Parking Incentive which qualifies the property for 12 additional units per acre and one (1) additional story. Payment is required prior to issuance of a building permit (Planning).
4. Provide project site and engineering plans clearly detailing all green building measures which are intended to qualify for incentives, per Section 305-50(6)(Planning).
5. Must provide payment of \$2,300.00 for the variance application fee (Planning).
6. The parking garage has a dead end of approximately 140 feet on all floors. The maximum dead end and common path of travel permitted is 50 feet in accordance with NFPA 101, 42.8.2.5. Additionally, a minimum of two (2) means of egress in accordance with the requirements of NFPA 101, 12.2.4.4 is required for the recreational/pool deck at the southern end of the structure (Fire Marshal).
7. Provide an additional fire hydrant meeting the requirements of the City of Dania Beach and NFPA 1, 18.3.3 at the southern end of the structure. The main shall be looped. (Fire Marshal).
8. Provide an additional fire department connection 10 – 15 feet from the aforementioned fire hydrant noted in item #2 (Fire Marshal).
9. Complete and submit the water supply affidavit which was e-mailed to you by Battalion Chief Brown on June 28th. For your convenience I have included an additional copy (Fire Marshal).
10. Provide additional stabilization around the curve at the southern end of the project and around the curve in the area of the dumpster room (Fire Marshal).
11. Provide an electronic copy in PDF form of the final approved plans to jfreedman@metric.com (Landscape Consultant).

CITY COMMISSION PREVIOUS ACTION

On July 24, 2012, the City Commission approved, on first reading, the plat note amendment, changing the use from hotel.

STAFF RECOMMENDATION

VARIANCE

1. Setback from east property line – Approve.
2. Perimeter Buffer Trees – Approve.

SITE PLAN

Approve, provided the variances are approved and that all staff comments are addressed prior to issuance of a building permit.



City of Dania Beach, Florida
 Department of Community Development
 Planning and Zoning Division
 (954) 924-6805 x3643
 (954) 922-2687 Fax

Standard Development Application

- Administrative Variance
- Land Use Amendment
- Plat
- Plat Delegation Request
- Rezoning
- Site Plan
- Special Exception
- Variance
- Other: _____



Date Rec'd: 7/31/12

Petition No.: VA-35-12

THIS APPLICATION WILL NOT BE ACCEPTED UNTIL IT IS COMPLETE AND SUBMITTED WITH ALL NECESSARY DOCUMENTS. Refer to the application type at the top of this form and "Required Documentation" checklist to determine the supplemental documents required with each application. For after the fact applications, the responsible contractor of record shall be present at the board hearing. Their failure to attend may impact upon the disposition of your application. As always, the applicant or their authorized legal agent must be present at all meetings. All projects must also obtain a building permit from the City's Building Division. For more information please reference the **Dania Beach Land Development Code Part 6, Development Review Procedures and Requirements.**

Location Address: 480 East Dania Beach Boulevard

Lot(s): _____ Block: _____ Subdivision: _____

Recorded Plat Name: Hobal Plat

Folio Number(s): 504235230010 Legal Description: Parcel A of Hobal Plat as recorded in Plat Book 179, Page 98

Applicant/Consultant/Legal Representative (circle one): Scott A. Bakos

Address of Applicant: Bermello Ajamil & Partners, Inc.

Business Telephone: (954) 627-5109 Home: (305) 989-9953 Fax: (954) 467-1116

Name of Property Owner: Dania Beach Developers LLC

Address of Property Owner: 1450 Brickell Avenue, Suite 1420, Miami, FL 33131

Business Telephone: (305) 371-5254 Home: (305) 975-3365 Fax: (305) 371-4642

Explanation of Request: Request variance from minimum setback and tree placement requirements pursuant to Code Section 275-90(2)

*For Plats please provide proposed Plat Name for Variances please attach **Criteria Statement** as per Section 625.40 of the land Development Code.*

Prop. Net Acreage: 2.16 Gross Acreage: 2.4 Prop. Square Footage: 104,544

Existing Use: vacant Proposed Use: 181 high rise units

Is property owned individually, by a corporation, or a joint venture? The property is owned by a limited liability company

AUTHORIZED REPRESENTATIVE

I/we are fully aware of the request being made to the City of Dania Beach. If I/We are unable to be present, I/we hereby authorize Bermello Ajamil & Partners, Inc. (Individual/firm) to represent me/us in all matters related to this application. I/we hereby acknowledge that the applicable fee was established to offset administrative costs and is not refundable.

I/we are fully aware that all approvals automatically expire within 12 months of City of Dania Beach Planning and Zoning Board or City Commission approval, or pursuant to the expiration timeframe listed in Part 6 of the Dania Beach Land Development Code.

STATE OF FLORIDA
COUNTY OF BROWARD
The foregoing instrument
was acknowledged

By: [Signature]
(Owner Agent signature*)

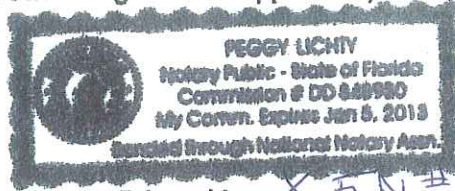
BEFORE ME THIS 31 DAY OF July, 2012

By:

Scott Sakos
(Print name of person acknowledging)

(Joint owner signature if applicable)

Notary [Signature]
(Signature of Notary Public - State of Florida)



Personally known _____ or Produced Identification _____ or Drivers License X FLSL # B22078167181

*If joint ownership, both parties must sign. If partnership, corporation or association, an authorized officer must sign on behalf of the group. A notarized letter of authorization from the owner of record must accompany the application if an authorized agent signs for the owner(s).

NO APPLICATION WILL BE AUTOMATICALLY SCHEDULES FOR A MEETING

**ALL APPLICATIONS MUST BE DETERMINED COMPLETED BY STAFF
BEFORE PROCESSING OCCURS**

SAN SOUCI VARIANCE JUSTIFICATION STATEMENT
Relief from Minimum Required Landscaping Adjacent to Abutting Property
(Land Development Code Section 275-90(B)(2))

Dania Beach Developers LLC, as property owner and applicant (“Applicant”), is requesting relief from Section 275-90(B)(2), Required Landscaping Adjacent to Abutting Property, of the City’s Land Development Code (“Code”) to facilitate the redevelopment of the subject property located at 480 East Dania Beach Boulevard (“Property”). Specifically, the Applicant is requesting a variance from the strict application of the minimum setback and tree placement requirements between abutting properties. Section 275-90(B)(2) requires a landscaped strip of land, a minimum of five (5) feet in depth, be located between the abutting property and the vehicular use area. Also, Section 275-90(B)(2) requires that the aforementioned landscaping include one (1) tree for each forty (40) linear feet, or fraction thereof, as measured along the abutting property. Due to circumstances beyond the Applicant’s control, as discussed below, the redevelopment of the Property will not accommodate the five (5) foot landscaped strip between the east property line and vehicle use area. As a result, the Applicant is requesting a variance from the requirements of Section 275-90(B)(2) to eliminate the aforementioned minimum five (5) foot landscaped strip requirement between the east property line and vehicle use area.

As outlined in detail below, the Applicant has demonstrated that the requested variance meets the criteria set forth in Section 625-40 of the Code as follows:

1. **That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.**

The Property was improved with an aging hotel. The Applicant is proposing to redevelop the site with a 181 unit high rise apartment building, providing improved aesthetics for this parcel which is located on one of the main boulevards in the City.

The redevelopment of the Property is restricted both vertically and horizontally within the existing Property lines based on the following reasons:

1. The FAA has restricted the total building height for this Property due to the fact that the Property is situated within the flight path of one of Fort Lauderdale International Airport’s runways; and
2. There are two (2) very large areas of existing wetlands located on the Property which must be preserved. These two (2) areas total approximately 21,891 square feet and shall remain intact which limits the allowable building area on the Property.

As a result of the existence of these special conditions, the narrow width of the Property and the linear shape of the Property, the requested variance is warranted.

2. **That the special conditions and circumstances do not result from the actions of the applicant.**

The requested variance is not the result of the Applicant's actions. Any alleged hardship has not been self-created by any person having an interest in the Property nor is it the result of a

mere disregard for or in ignorance of the provisions of the zoning ordinances of the City. The Applicant has, to the extent possible, provided the maximum amount of landscaped area on the Property. Due to fire and emergency vehicle access requirements, and the aforementioned FAA and wetlands restrictions, it is not possible to provide the minimum five (5) foot landscaped strip between the east property line and the vehicle use area.

A further consideration is that the adjacent property to the east already has a substantial landscape buffer abutting the Property; therefore, from a visual perspective, neither the public nor the adjacent property owner will be impacted by the elimination of the required landscape buffer along the Property's eastern property line to accommodate fire and emergency vehicle access.

- 3. That granting the variance requested will not confer on the applicant any special privilege that is denied by this Code to other lands, buildings or structures in the same zoning district.**

Granting of the requested variance will not provide a special privilege to the Applicant. The Applicant's request for variance falls within the criteria listed under Section 625-40 of the Code. The Applicant has attempted, to the extent possible, to comply with all Code requirements. Due to life safety access requirements, and the special conditions on the Property discussed above, the Property is unique from other properties in the same zoning district; therefore, the requested variance, if granted, does not confer special privilege on the Applicant. Granting of the variance will allow the Applicant to redevelop the Property in a reasonable manner while providing the required fire and emergency vehicle access.

- 4. That literal interpretation of the provisions of this Code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Code and would work unnecessary and undue hardship on the applicant.**

Literal interpretation of the provisions of the Code would deprive the Applicant of rights commonly enjoyed by other properties in the same zoning district that do not have the special conditions listed above. If the variance is not granted, the Applicant will suffer unnecessary and undue hardship as the wetland preservation, FAA regulations and life safety access requirements are totally beyond the Applicant's control. If the variance is not granted, the redevelopment of the Property will not be feasible.

- 5. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.**

The Applicant has worked to develop a site plan that minimizes the variance requested, to the extent possible. Due to the existing site configuration, no additional landscaped area is necessary along the east property line. As discussed above, the adjacent property to the east already has a substantial landscape buffer abutting the Property; therefore, from a visual perspective, neither the public nor the adjacent property owner will be impacted by the elimination of the required landscape buffer along the Property's eastern property line to accommodate fire and emergency vehicle access.

6. **That the grant of the variance will be in harmony with the general intent and purpose of this Code, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.**

Although the Applicant is requesting a variance to the minimum landscape buffer area requirements, the total amount of landscaping and open space provided on the site is in excess of the amount required by the Code. In keeping with the spirit of the Code, the Applicant is ensuring no net loss of landscaping or open space. Therefore, the overall objective to provide adequate landscaping and open space on the Property will be met, and the relief requested will not negatively affect the Property, the adjacent properties or the public welfare.



City of Dania Beach, Florida
Department of Community Development
Planning and Zoning Division
(954) 924-6805 X3643
(954) 922-2687 Fax



Standard Development Application

- Administrative Variance
- Land Use Amendment
- Plat
- Rezoning
- Site Plan
- Special Exception
- Variance
- Other: Site Plan Revision

Date Rec'd: _____

Petition No.: SP-34-11

THIS APPLICATION WILL NOT BE ACCEPTED UNTIL IT IS COMPLETE AND SUBMITTED WITH ALL NECESSARY DOCUMENTS. Refer to the application type at the top of this form and "Required Documentation" checklist to determine the supplemental documents required with each application. For after the fact applications, the responsible contractor of record shall be present at the board hearing. Their failure to attend may impact upon the disposition of your application. As always, the applicant or their authorized legal agent must be present at all meetings. All projects must also obtain a building permit from the City Building Division. For more information please reference the **Dania Beach Land Development Code Part 6, Development Review Procedures and Requirements.**

Location Address: 480 East Dania Beach Boulevard

Lot(s): _____ Block: _____ Subdivision: _____

Recorded Plat Name: Portion of SW 1/4 of SW 1/4 Section 35-50-42

Folio Number(s): 5042 35 23 0010 Legal Description: See attached Survey

Applicant/Consultant/Legal Representative (**circle one**) Bermello Ajamil & Partners, Inc.

Address of Applicant: 900 Southeast 3rd Avenue, Suite 203, Fort Lauderdale FL 33316

Business Telephone: (954) 626-5109 Home: N/A Fax: (954) 467-1116

E-mail address: sbakos@bermelloajamil.com

Name of Property Owner: Dania Beach Developers, LLC

Address of Property Owner: 1450 Brickell Avenue, Suite 1420, Miami FL 33131

Business Telephone: (305) 371-5254 Home: N/A Fax: (305) 371-4642

Explanation of Request: Site Plan Revision

*For **Plats** please provide proposed **Plat Name** for **Variations** please attach Criteria Statement as per **Section 625.40 of the Land Development Code.***

Prop. Net Acreage: N/A Gross Acreage: 2.165 Prop. Square Footage: 430,110 s.f.

Existing Use: Hotel Proposed Use: Apartments

Is property owned individually, by a corporation, association, or a joint venture? Joint Venture

AUTHORIZED REPRESENTATIVE

I/we are fully aware of the request being made to the City of Dania Beach. If I/We are unable to be present, I/we hereby authorize Scott A. Bakos / Bermello Ajamil & Partners, Inc. to represent me/us in all matters related to this application. I/we hereby acknowledge that the applicable fee was established to offset administrative costs and is not refundable.

I/we are fully aware that all approvals automatically expire within 12 months of City of Dania Beach Planning and Zoning Board or City Commission approval, or pursuant to the expiration timeframe listed in Part 6 of the Dania Beach Land Development Code.

DANIA BEACH DEVELOPERS, LLC

STATE OF FLORIDA
COUNTY OF BROWARD
The foregoing instrument
was acknowledged

By: Alan Ojeda
(Owner / Agent signature*)

BEFORE ME THIS 29th DAY OF MARCH, 2012

By:

ALAN OJEDA
(Print name of person acknowledging)

(Joint owner signature if applicable)

Notary [Signature]
(Signature of Notary Public - State of FLORIDA)



Personally known or Produced Identification _____

Type of identification produced: _____ or Drivers License _____

***If joint ownership, both parties must sign. If partnership, corporation or association, an authorized officer must sign on behalf of the group. A notarized letter of authorization from the owner of record must accompany the application if an authorized agent signs for the owner(s).**

NO APPLICATION WILL BE AUTOMATICALLY SCHEDULED FOR A MEETING.

ALL APPLICATIONS MUST BE DETERMINED COMPLETE BY STAFF BEFORE PROCESSING OCCURS.



Bermello Ajamil & Partners, Inc.

Architecture
Engineering
Planning
Interior Design
Landscape Architecture

August 2nd 2012

Sent via email /PDF

Corinne Lajoie
Principal Planner, City of Dania Beach
100 West Dania Beach Boulevard
Dania Beach, Florida 33004
E-mail: cchurch@ci.dania-beach.fl.us

re: San Souci Apartment Project SP-14-12 – Variance for Landscape Buffer.

Dear Corinne:

As you know, as part of the Site Plan Application for the San Souci Apartment project, we are now seeking a variance due per Section 275-90(2) of the Dania Beach Zoning Ordinance regarding the required landscape buffer along the east property line.

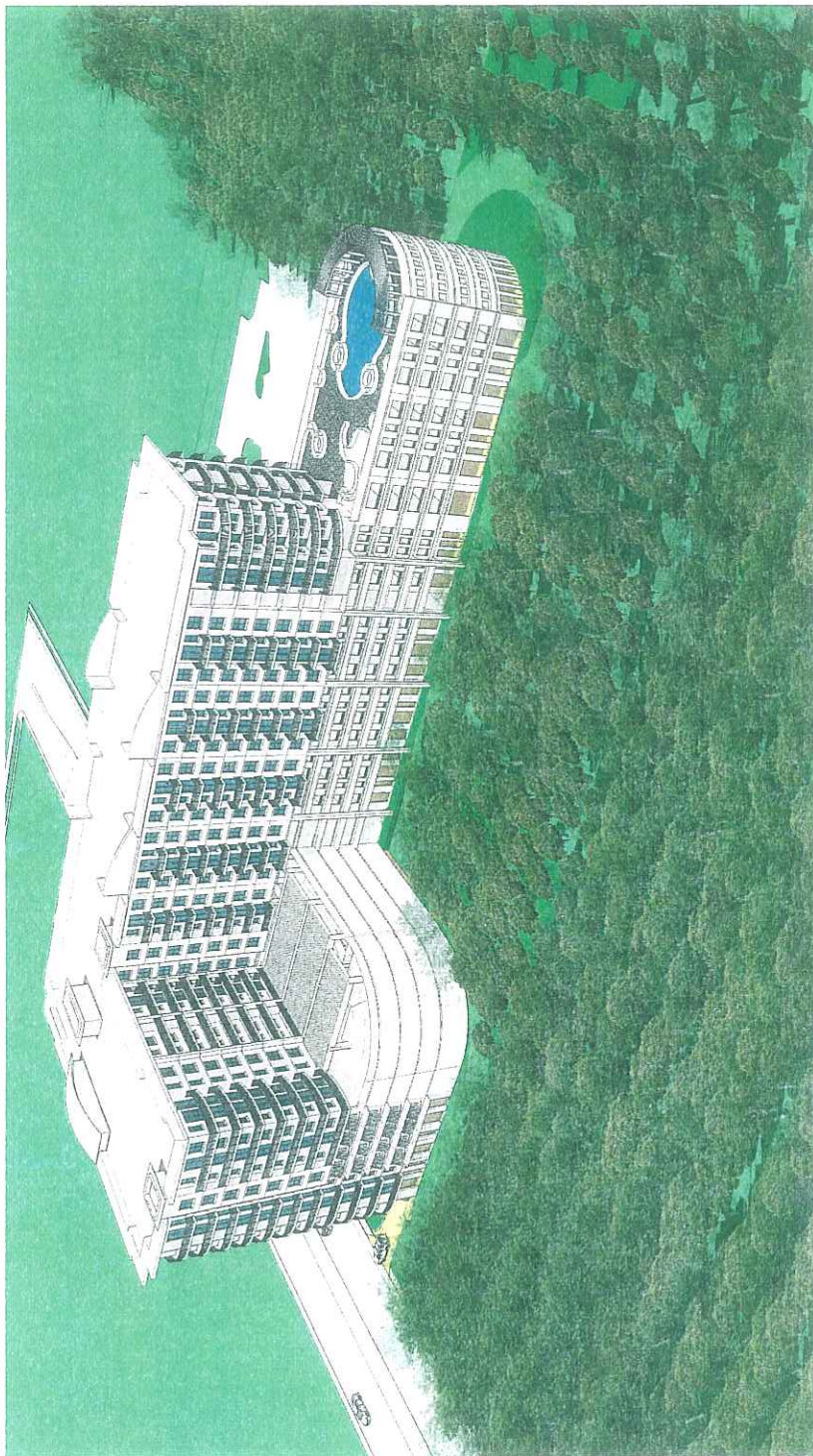
We acknowledge that said variance requires an application fee of \$2,300.00. I will request the required check for process, however I will not be able to accomplish this now as my client is currently out of the country for approximately (2) two weeks. This letter is to inform you in writing that we will provide you the required application fee upon his return. Please contact me should you have any questions regarding this matter.

Warmest personal regards,

Scott A. Bakos
Partner / Project Manager

cc: Dwayne Dickerson, Greenspoon Marder

SAN SOUCI APARTMENT PROJECT



SITE PLAN MODIFICATION SUBMITTAL
 FIRST SUBMISSION - APRIL 30 2012
 RESUBMISSION - JUNE 7 2012 PER STAFF COMMENTS
 (full size sets + 11 x 17 w/ added drawings per staff request)
 480 EAST DANIA BEACH BOULEVARD
 DANIA BEACH, FLORIDA 33004

SUNTECH
 SUNTECH ENGINEERS, INC.
 ENGINEERS ARCHITECTS INTERIORS
 1905 UNIVERSITY AVENUE, SUITE 300
 FT. LAUDERDALE, FL 33311
 PHONE: (754) 567-5700 FAX: (754) 567-5701
 WWW.SUNTECHFL.COM

ba
 BERNELLO AJAMI &
 PARTNERS INC.
 ARCHITECTS INTERIORS
 501 W. JACKSON STREET, SUITE 200
 FT. LAUDERDALE, FL 33302
 PHONE: (754) 348-2222 FAX: (754) 348-2223
 WWW.BAARCHITECTS.COM

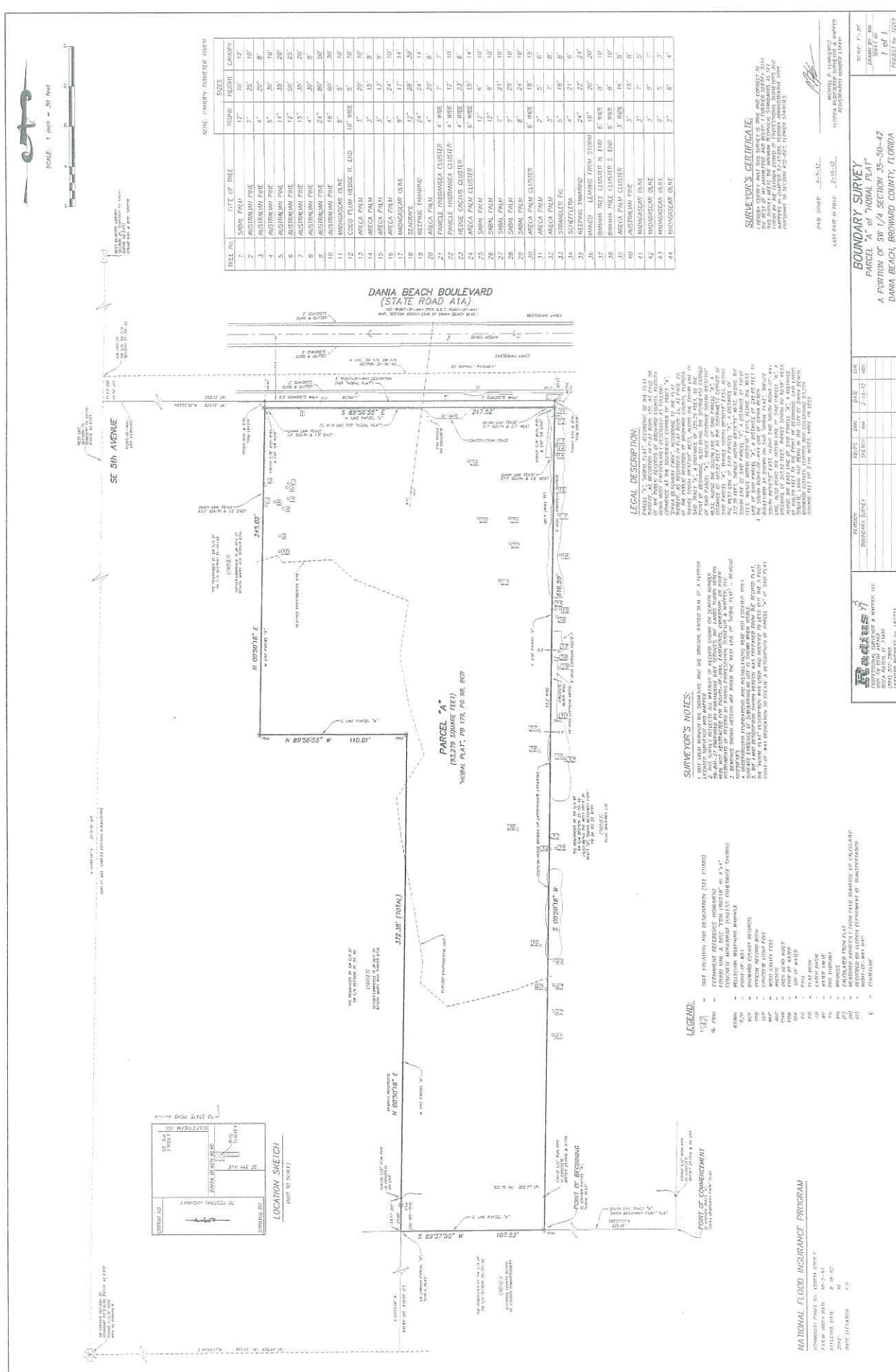
RG
 REAL ESTATE GROUP
 5000 S. WINDY HILLS ROAD, SUITE 200
 FT. LAUDERDALE, FL 33309
 PHONE: (754) 424-7800 FAX: (754) 424-7801
 WWW.REALTYRG.COM

MC
 MARIANO CORRAL
 ARCHITECTS
 1101 S. FEDERAL AVENUE, SUITE 200
 FT. LAUDERDALE, FL 33304
 PHONE: (754) 535-5200 FAX: (754) 535-5201
 WWW.MARIANOCORRAL.COM

Sasco lighting
 3600 N. UNIVERSITY AVENUE, SUITE 300
 FT. LAUDERDALE, FL 33309
 PHONE: (754) 533-3333 FAX: (754) 533-3334
 WWW.SASCOLIGHTING.COM

DRAWING LIST

- C CIVIL SITE PLAN / DRAINAGE DESIGN
 S SURVEY BOUNDARY AND TOPOGRAPHIC SURVEY
ARCHITECTURE
 A-00 CONCEPT SITE PLAN PROJECT CRITERIA
 A-10 OFFERING FLOOR PLAN
 A-12 5TH FLOOR - REGISTRATION BECA LEVEL
 A-14 6TH FLOOR - REGISTRATION BECA LEVEL
 A-16 7TH FLOOR - REGISTRATION BECA LEVEL
 A-18 8TH FLOOR - REGISTRATION BECA LEVEL
 A-20 EAST AND WEST ELEVATIONS (1/2 X 1/2 SET INCLUDES EXTERIOR WITH NO TREES)
 A-22 EAST AND WEST ELEVATIONS (1/2 X 1/2 SET INCLUDES EXTERIOR WITH NO TREES)
 A-24 3D PERSPECTIVE VIEW FROM DANIA BEACH BOULEVARD
 A-26 3D PERSPECTIVE VIEW FROM DANIA BEACH BOULEVARD
 A-28 3D PERSPECTIVE VIEW OF ENTRY PLAZA (PART OF 11 X 17 SET)
 A-30 3D PERSPECTIVE VIEW OF ENTRY PLAZA (PART OF 11 X 17 SET)
 A-32 FIRE LANE DRAWING UNDERGROUND THROUGH PART OF 11 X 17 SET)
MECHANICAL
 M-00 MECHANICAL PAVING & DRAINAGE PLAN
 M-02 MECHANICAL PAVING & DRAINAGE PLAN
 M-04 MECHANICAL PAVING & DRAINAGE PLAN
 M-06 MECHANICAL PAVING & DRAINAGE PLAN
 M-08 MECHANICAL PAVING & DRAINAGE PLAN
ELECTRICAL
 E-00 SCHEMATIC PAVING & DRAINAGE PLAN
 E-02 SCHEMATIC PAVING & DRAINAGE PLAN
 E-04 SCHEMATIC PAVING & DRAINAGE PLAN
 E-06 SCHEMATIC PAVING & DRAINAGE PLAN
 E-08 SCHEMATIC PAVING & DRAINAGE PLAN
STRUCTURAL
 S-00 STRUCTURAL FOUNDATION PRELIMINARY PLAN
 S-02 STRUCTURAL FOUNDATION PRELIMINARY PLAN
 S-04 STRUCTURAL FOUNDATION PRELIMINARY PLAN
 S-06 STRUCTURAL FOUNDATION PRELIMINARY PLAN
 S-08 STRUCTURAL FOUNDATION PRELIMINARY PLAN
PLUMBING
 P-00 SCHEMATIC PAVING & DRAINAGE PLAN
 P-02 SCHEMATIC PAVING & DRAINAGE PLAN
 P-04 SCHEMATIC PAVING & DRAINAGE PLAN
 P-06 SCHEMATIC PAVING & DRAINAGE PLAN
 P-08 SCHEMATIC PAVING & DRAINAGE PLAN
LANDSCAPE
 L-00 LANDSCAPE PLAN (PART OF 11 X 17 SET)
 L-02 LANDSCAPE PLAN (PART OF 11 X 17 SET)
 L-04 LANDSCAPE PLAN (PART OF 11 X 17 SET)
 L-06 LANDSCAPE PLAN (PART OF 11 X 17 SET)
 L-08 LANDSCAPE PLAN (PART OF 11 X 17 SET)
GENERAL NOTES
 G-00 GENERAL NOTES FOR THE ENTIRE PROJECT (PART OF 11 X 17 SET)
 G-02 GENERAL NOTES FOR THE ENTIRE PROJECT (PART OF 11 X 17 SET)
 G-04 GENERAL NOTES FOR THE ENTIRE PROJECT (PART OF 11 X 17 SET)
 G-06 GENERAL NOTES FOR THE ENTIRE PROJECT (PART OF 11 X 17 SET)
 G-08 GENERAL NOTES FOR THE ENTIRE PROJECT (PART OF 11 X 17 SET)



NOTE: CHARTS DIMENSIONS SHOWN

TREE NO.	DATE OF TREE	INDICE	HEIGHT	CANOPY
1	ASIRANAMI PALM	7"	25'	10'
2	ASIRANAMI PALM	7"	25'	10'
3	ASIRANAMI PALM	7"	25'	10'
4	ASIRANAMI PALM	5"	30'	10'
5	ASIRANAMI PALM	14"	35'	20'
6	ASIRANAMI PALM	12"	50'	25'
7	ASIRANAMI PALM	15"	35'	20'
8	ASIRANAMI PALM	15"	35'	20'
9	ASIRANAMI PALM	15"	35'	20'
10	ASIRANAMI PALM	16"	60'	30'
11	MANAGOCAR PALM	8"	5'	10'
12	COCO PALM	10"	5'	10'
13	ARECA PALM	3"	15'	9"
14	ARECA PALM	3"	15'	9"
15	ARECA PALM	3"	15'	9"
16	ARECA PALM	3"	15'	9"
17	ARECA PALM	3"	15'	9"
18	ARECA PALM	3"	15'	9"
19	ARECA PALM	3"	15'	9"
20	ARECA PALM	3"	15'	9"
21	ARECA PALM	3"	15'	9"
22	ARECA PALM	3"	15'	9"
23	ARECA PALM	3"	15'	9"
24	ARECA PALM	3"	15'	9"
25	ARECA PALM	3"	15'	9"
26	ARECA PALM	3"	15'	9"
27	ARECA PALM	3"	15'	9"
28	ARECA PALM	3"	15'	9"
29	ARECA PALM	3"	15'	9"
30	ARECA PALM	3"	15'	9"
31	ARECA PALM	3"	15'	9"
32	ARECA PALM	3"	15'	9"
33	ARECA PALM	3"	15'	9"
34	ARECA PALM	3"	15'	9"
35	ARECA PALM	3"	15'	9"
36	ARECA PALM	3"	15'	9"
37	ARECA PALM	3"	15'	9"
38	ARECA PALM	3"	15'	9"
39	ARECA PALM	3"	15'	9"
40	ARECA PALM	3"	15'	9"
41	ARECA PALM	3"	15'	9"
42	ARECA PALM	3"	15'	9"
43	ARECA PALM	3"	15'	9"
44	ARECA PALM	3"	15'	9"

LEGAL DESCRIPTION:

THIS PARCEL IS PART OF THE DANIA BEACH BOULEVARD (STATE ROAD 114) PROJECT, AS SHOWN ON THE PLAT OF THE DANIA BEACH BOULEVARD (STATE ROAD 114) PROJECT, FILED IN PUBLIC RECORDS OF DADE COUNTY, FLORIDA, BOOK 100, PAGE 100. THE DANIA BEACH BOULEVARD (STATE ROAD 114) PROJECT IS A PROJECT OF THE DANIA BEACH BOULEVARD (STATE ROAD 114) PROJECT, AS SHOWN ON THE PLAT OF THE DANIA BEACH BOULEVARD (STATE ROAD 114) PROJECT, FILED IN PUBLIC RECORDS OF DADE COUNTY, FLORIDA, BOOK 100, PAGE 100. THE DANIA BEACH BOULEVARD (STATE ROAD 114) PROJECT IS A PROJECT OF THE DANIA BEACH BOULEVARD (STATE ROAD 114) PROJECT, AS SHOWN ON THE PLAT OF THE DANIA BEACH BOULEVARD (STATE ROAD 114) PROJECT, FILED IN PUBLIC RECORDS OF DADE COUNTY, FLORIDA, BOOK 100, PAGE 100.

SURVEYOR'S NOTES:

1. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS OF A LICENSED SURVEYOR IN THE STATE OF FLORIDA.
2. THE SURVEY WAS CONDUCTED USING THE FOLLOWING METHODS AND EQUIPMENT: TOTAL STATION, DISTANCE MEASUREMENT, ANGLE MEASUREMENT, AND PHOTOGRAMMETRY.
3. THE SURVEY WAS CONDUCTED ON THE FOLLOWING DATE: 10/15/2023.
4. THE SURVEY WAS CONDUCTED BY THE FOLLOWING SURVEYOR: [Name].
5. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS OF A LICENSED SURVEYOR IN THE STATE OF FLORIDA.

LEGEND:

- 1. BOUNDARY LINE
- 2. EASEMENT
- 3. RIGHT-OF-WAY
- 4. ADJACENT PROPERTY
- 5. EXISTING ROAD
- 6. PROPOSED ROAD
- 7. UTILITIES
- 8. TREES
- 9. FENCES
- 10. DRIVEWAYS
- 11. SIDEWALKS
- 12. CURBS
- 13. DRIVE
- 14. DRIVEWAY
- 15. DRIVEWAY
- 16. DRIVEWAY
- 17. DRIVEWAY
- 18. DRIVEWAY
- 19. DRIVEWAY
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- 46. DRIVEWAY
- 47. DRIVEWAY
- 48. DRIVEWAY
- 49. DRIVEWAY
- 50. DRIVEWAY

NATIONAL FLOOD INSURANCE PROGRAM

COMMUNITY DEVELOPMENT DEPARTMENT
 FEDERAL EMERGENCY MANAGEMENT AGENCY
 400 ALABAMA AVENUE, N.W.
 WASHINGTON, D.C. 20548
 PHONE: (202) 755-1221
 FAX: (202) 755-1222



PROJECT NO.	DATE	SCALE
2023-10-15	10/15/2023	AS SHOWN

BOUNDARY SURVEY
 PARCEL "A" of "DANIA BEACH BOULEVARD"
 A PORTION OF SW 1/4 SECTION 35-40-42
 DANIA BEACH, BROWARD COUNTY, FLORIDA

DATE: 10/15/2023
 SURVEYOR: [Name]
 LICENSE NO.: [Number]


RUEA GROUP
 1401 W. UNIVERSITY BLVD. SUITE 100
 TAMPA, FL 33606
 PH: 813.251.1333 FAX: 813.251.1334
 WWW.RUEAGROUP.COM


BARCELLO A. AMIL & ASSOCIATES, P.A.
 1000 N. GULF BLVD. SUITE 100
 TAMPA, FL 33604
 PH: 813.971.1111 FAX: 813.971.1112
 WWW.BARCELLOAAMIL.COM

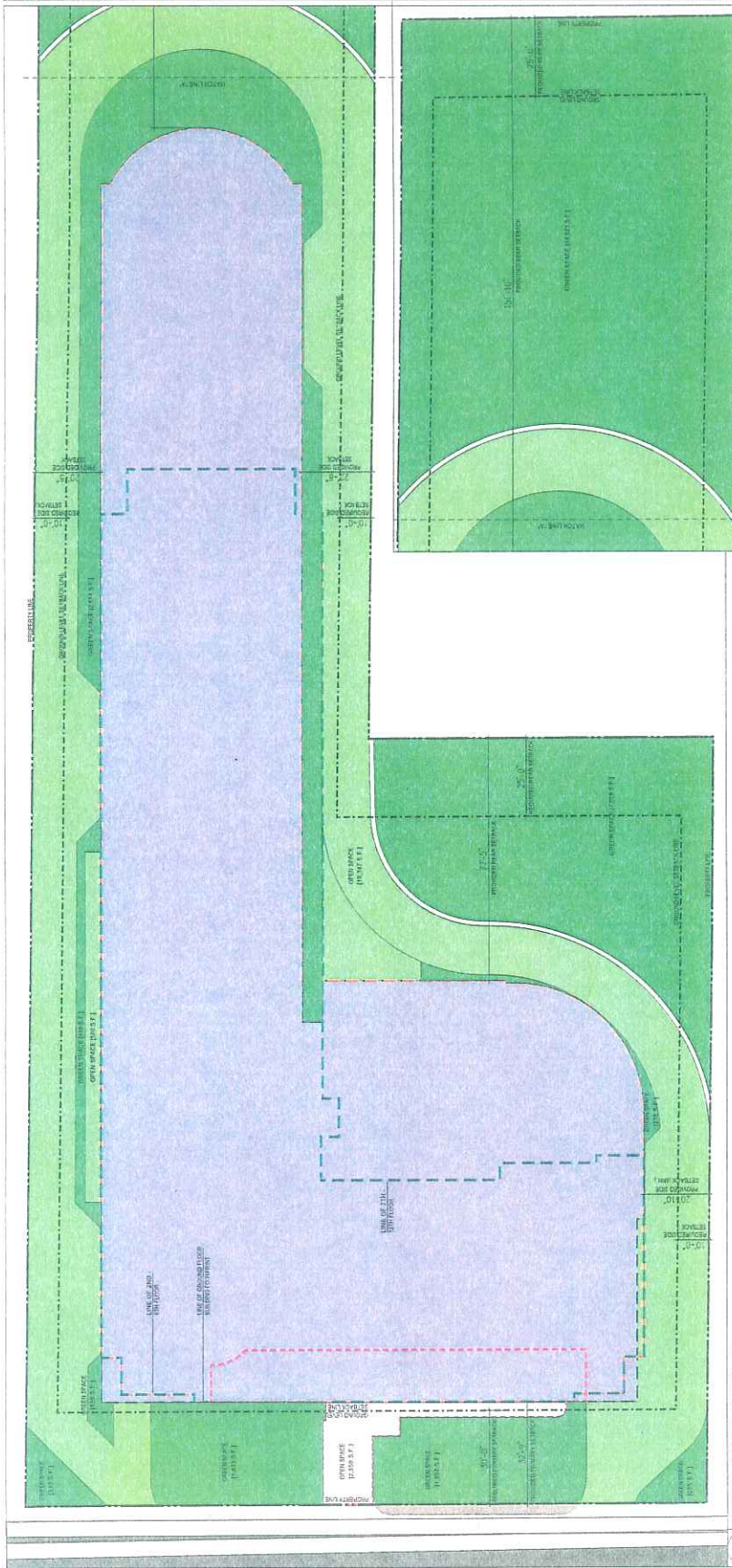

MARSHALL CORRAL
 LANDSCAPE ARCHITECT
 1401 W. UNIVERSITY BLVD. SUITE 100
 TAMPA, FL 33606
 PH: 813.251.1333 FAX: 813.251.1334
 WWW.MARSHALLCORRAL.COM


SUN-TECH ENGINEERS, INC.
 1401 W. UNIVERSITY BLVD. SUITE 100
 TAMPA, FL 33606
 PH: 813.251.1333 FAX: 813.251.1334
 WWW.SUNTECHENGINEERS.COM


sesco lighting
 1401 W. UNIVERSITY BLVD. SUITE 100
 TAMPA, FL 33606
 PH: 813.251.1333 FAX: 813.251.1334
 WWW.SESCO.COM

SITE PLAN
 RESUBMISSION
 JUNE 2012


 NORTH ARROW
 IN A HORIZONTAL POSITION



3 PARTIAL ZONING SITE PLAN (SOUTH END)
 SCALE: 1/16" = 1'-0"

4 ENLARGED ADA HC RAMP AT MAIN ENTRY
 SCALE: 1/8" = 1'-0"

PROJECT NAME:
 SAN SOUJI APARTMENT
 PROJECT
 DANIA BEACH, FLORIDA

PROJECT ADDRESS:
 1401 W. UNIVERSITY BLVD. SUITE 100
 TAMPA, FL 33606

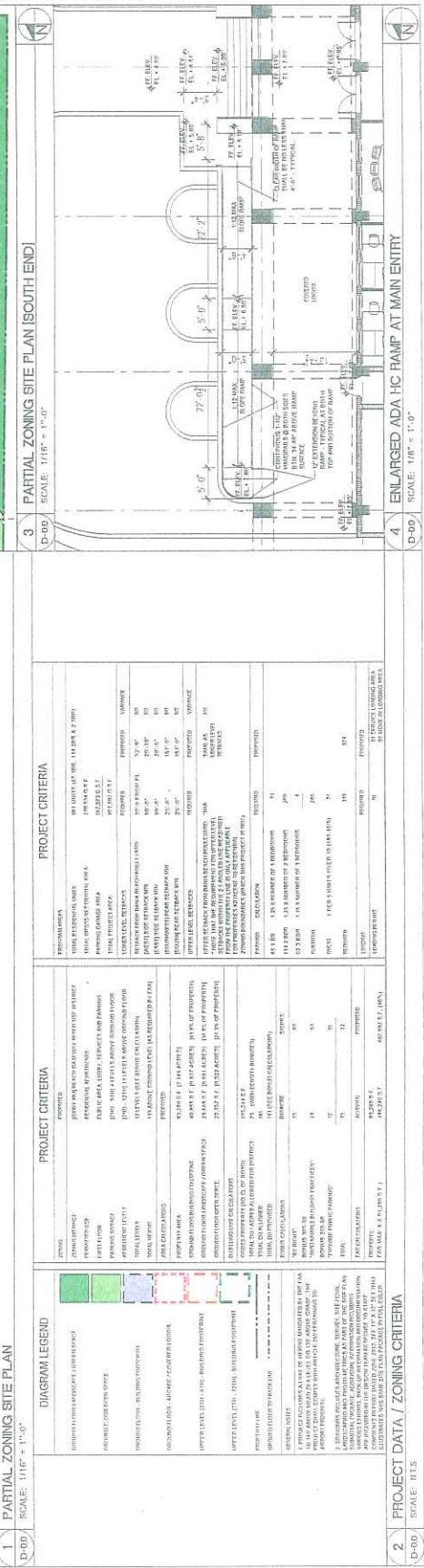
COMM. INT.:
 SCALE: 1/8" = 1'-0"

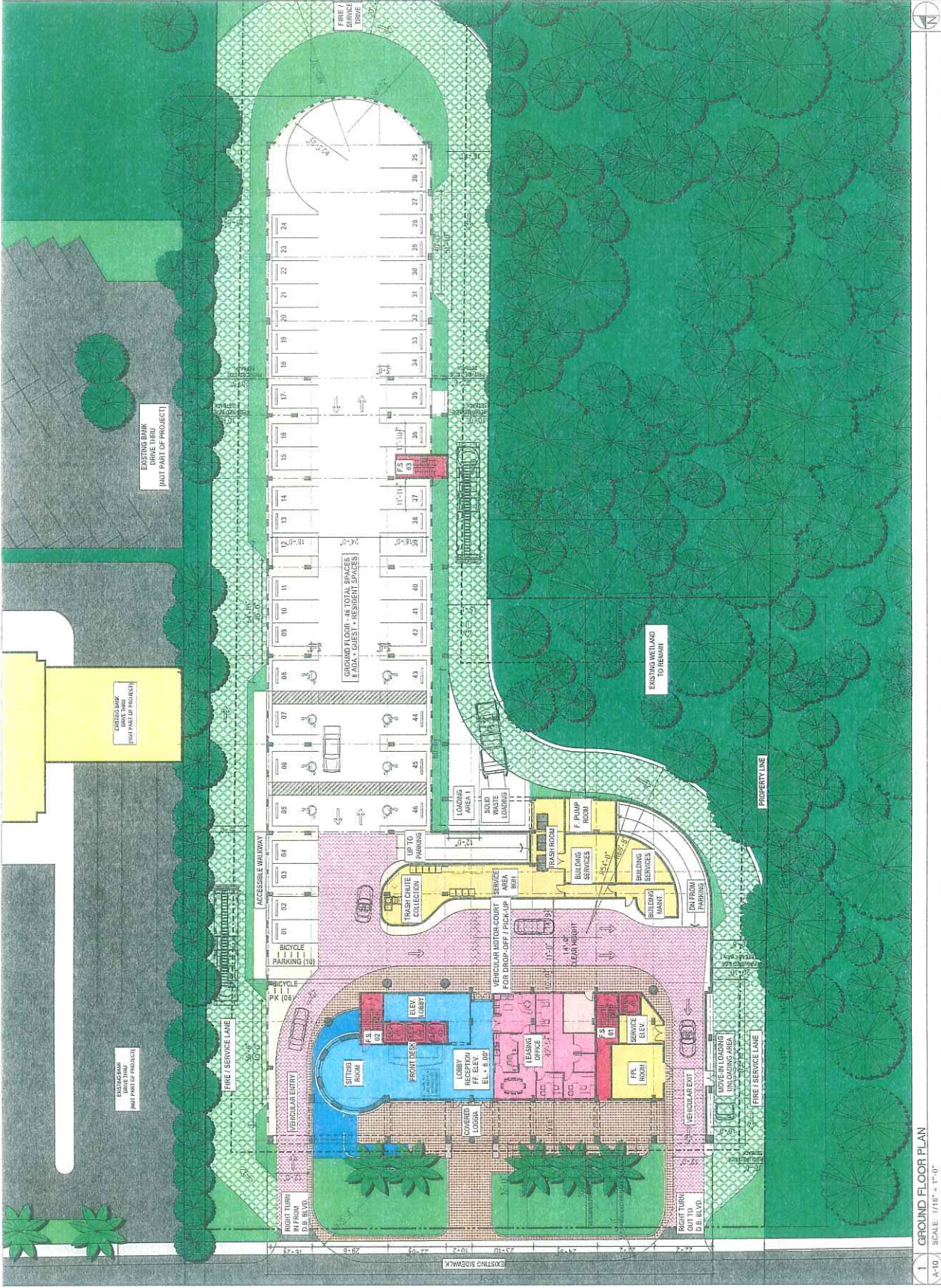
DATE:
 JUNE 2012

PROJECT:
 ARCHITECTURE

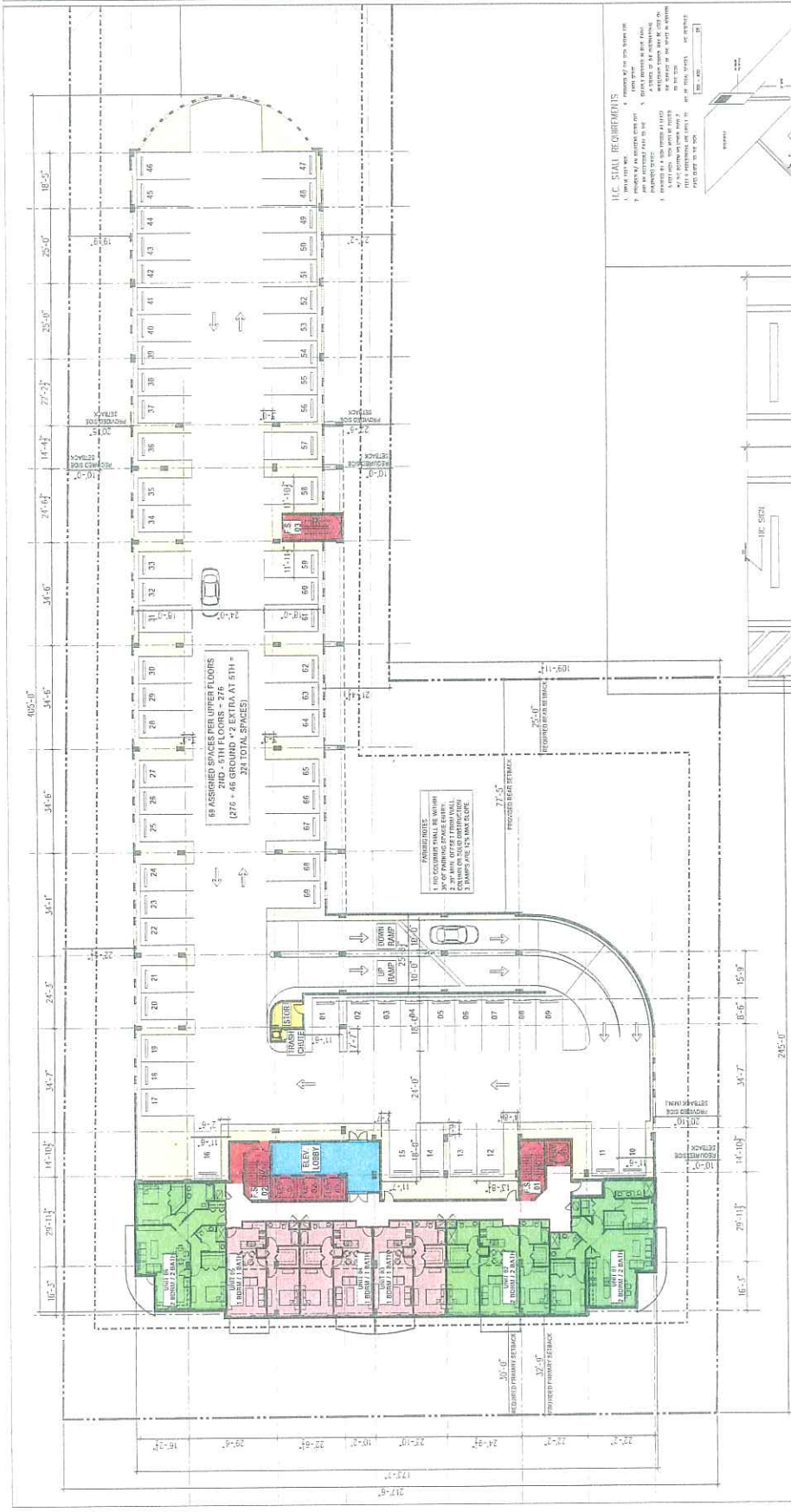
DRAWING TITLE:
 ZONING PLAN AND
 PROJECT CRITERIA

SHEET NO.:
 G-0.0






1 GROUND FLOOR PLAN
 SCALE: 1/16" = 1'-0"




APARTMENT TYPE COUNT		APARTMENT UNIT TYPE	
FLOOR	COUNT	TYPE	%
2ND	28	1-BED	50%
3RD	75	1-BED	50%
4TH	75	1-BED	50%
5TH	75	1-BED	50%
TOTAL	253	TOTAL	100%


PARKING REQUIREMENTS	
TYPE	PERCENT
RESIDENT	1.0%
VISITOR	1.0%
BIKE	1.0%
BIKEWAY	1.0%
BIKEWAY	1.0%
BIKEWAY	1.0%
TOTAL	4.0%




RILEA GROUP
ARCHITECTS




BERMELLO AJAMIL & ASSOCIATES
ARCHITECTS




MARINIA CORTELA
LANDSCAPE ARCHITECT



SUN-TECH ENGINEERING, INC.
ELECTRICAL ENGINEERING



sesco lighting
LIGHTING DESIGN



SITE PLAN RESUBMISSION
JUNE 2012

PROJECT NAME: **SAN SONCI APARTMENT PROJECT**
 PROJECT ADDRESS: **DAMA BEACH, FLORIDA**


OWNER: **RECREATION DECK**
 DRAWN: **RECREATION DECK**
 CHECKED: **RECREATION DECK**
 DATE: **RECREATION DECK**

PROJECT NO: **RECREATION DECK**
 DRAWING NO: **RECREATION DECK**




APARTMENTS UNIT ZONE		APARTMENTS UNIT MIX	
TOTAL	UNIT	TYPE	QUANTITY
200	98	1-BEDROOM	41
300	95	2-BEDROOM	114
400	85	3-BEDROOM	32
100	40	TOTAL	187


FURNITURE DISTRIBUTION	
TYPE	QUANTITY
14-2 ROOM	123
0-2 ROOM	136
SUBAREA	285
OFFICE	147
STORAGE	208
PROPOSED	204




RILEY GROUP
1000 N. W. 10TH AVENUE, SUITE 1000
MIAMI, FL 33136
Phone: 305.571.1234 Fax: 305.571.1235



BENMELO A.M.M. & ASSOCIATES
1000 N. W. 10TH AVENUE, SUITE 1000
MIAMI, FL 33136
Phone: 305.571.1234 Fax: 305.571.1235




MARINO CORRAL
1000 N. W. 10TH AVENUE, SUITE 1000
MIAMI, FL 33136
Phone: 305.571.1234 Fax: 305.571.1235



SUN-TECH ENGINEERING, INC.
1000 N. W. 10TH AVENUE, SUITE 1000
MIAMI, FL 33136
Phone: 305.571.1234 Fax: 305.571.1235

sesco lighting
1000 N. W. 10TH AVENUE, SUITE 1000
MIAMI, FL 33136
Phone: 305.571.1234 Fax: 305.571.1235

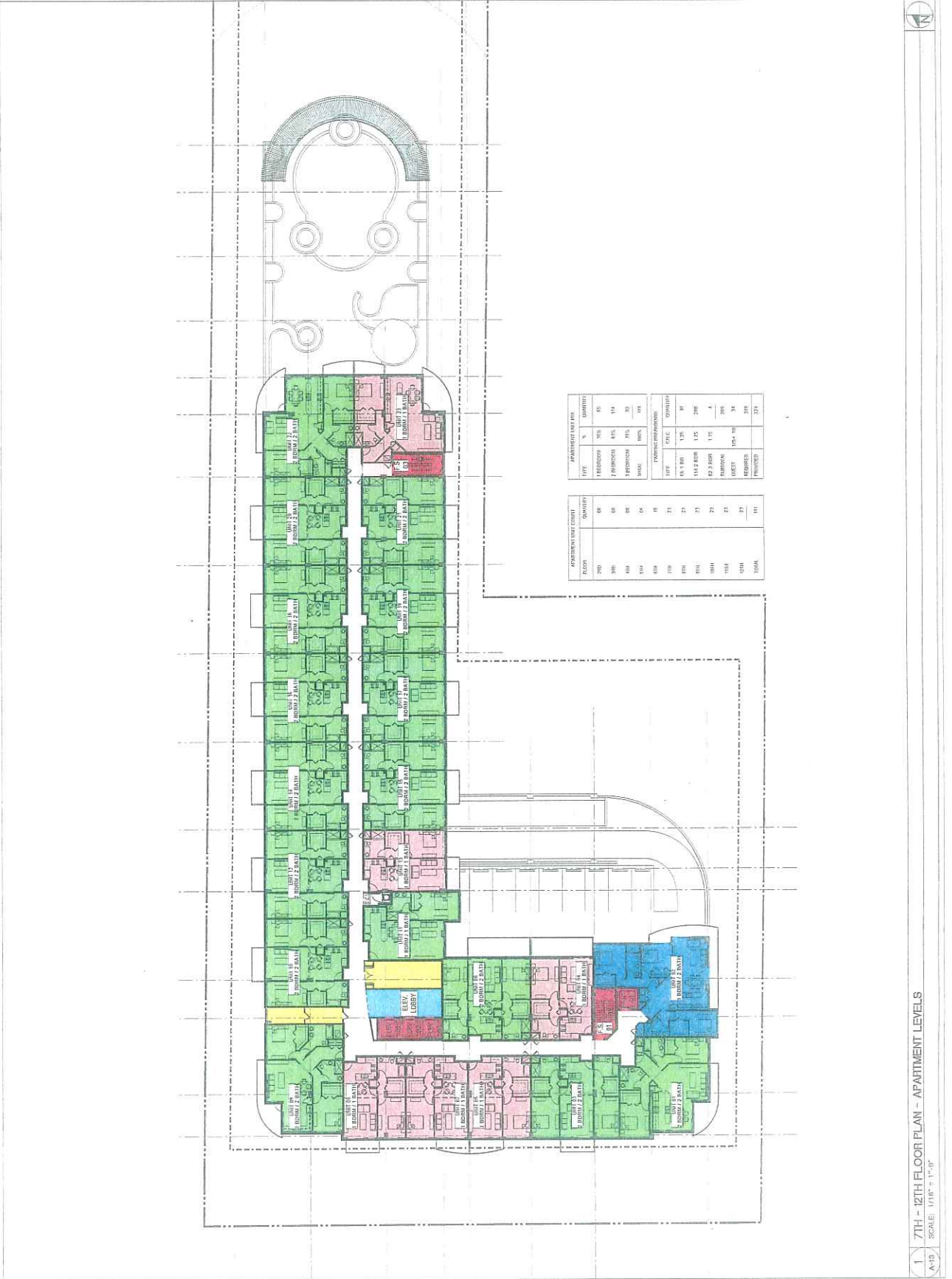


PROJECT NAME
SAN SOUJI APARTMENT PROJECT
DANIA BEACH, FLORIDA


PROJECT ADDRESS
1000 N. W. 10TH AVENUE, SUITE 1000
MIAMI, FL 33136
Phone: 305.571.1234 Fax: 305.571.1235

DATE
JUNE 2012

REVISIONS




APARTMENT UNIT COUNT		APARTMENT UNIT TYPE	
FLOOR	QUANTITY	TYPE	QUANTITY
7TH	06	1-BR/1.5-BATH	05
8TH	06	2-BR/2-BATH	114
9TH	06	3-BR/3-BATH	33
10TH	06	4-BR/4-BATH	111
11TH	06	1-BR/1.5-BATH	05
12TH	06	2-BR/2-BATH	114
13TH	06	3-BR/3-BATH	33
14TH	06	4-BR/4-BATH	111
15TH	06	1-BR/1.5-BATH	05
16TH	06	2-BR/2-BATH	114
17TH	06	3-BR/3-BATH	33
18TH	06	4-BR/4-BATH	111
19TH	06	1-BR/1.5-BATH	05
20TH	06	2-BR/2-BATH	114
21TH	06	3-BR/3-BATH	33
22TH	06	4-BR/4-BATH	111
23TH	06	1-BR/1.5-BATH	05
24TH	06	2-BR/2-BATH	114
25TH	06	3-BR/3-BATH	33
26TH	06	4-BR/4-BATH	111
27TH	06	1-BR/1.5-BATH	05
28TH	06	2-BR/2-BATH	114
29TH	06	3-BR/3-BATH	33
30TH	06	4-BR/4-BATH	111
TOTAL	111		




RG

RILEY GROUP
ARCHITECTS




ba

BERMELLO AMABIL & ASSOCIATES
ARCHITECTS




MC

MARIANO CORRAL
ARCHITECTS




SUNTECH

SUN-TECH ENGINEERING, INC.
MECHANICAL ENGINEERS



sesco lighting



SITE PLAN
RESUBMISSION
JUNE 2012

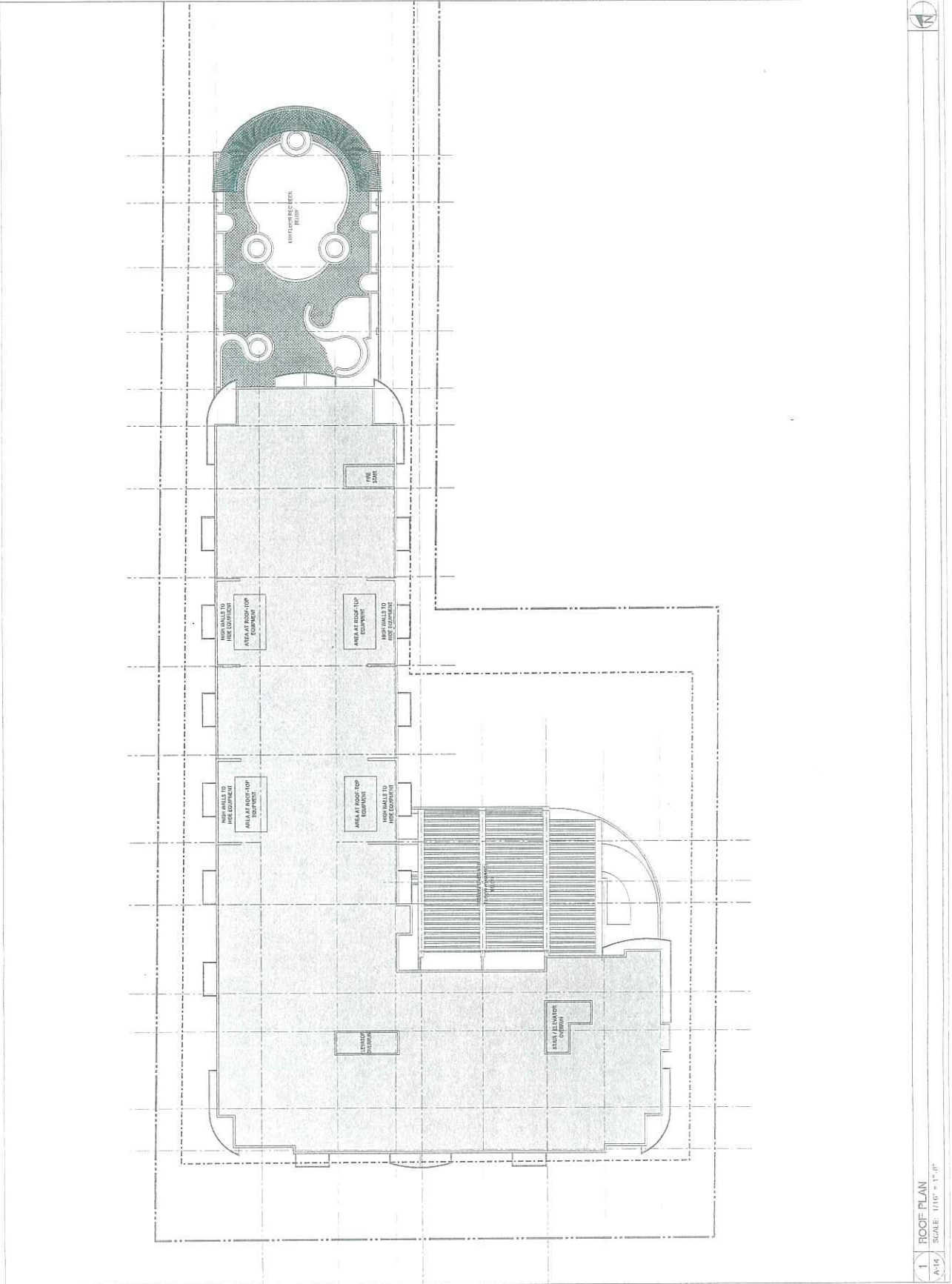
PROJECT NAME
SAN SOUCI APARTMENT
PROJECT
DANIA BEACH, FLORIDA

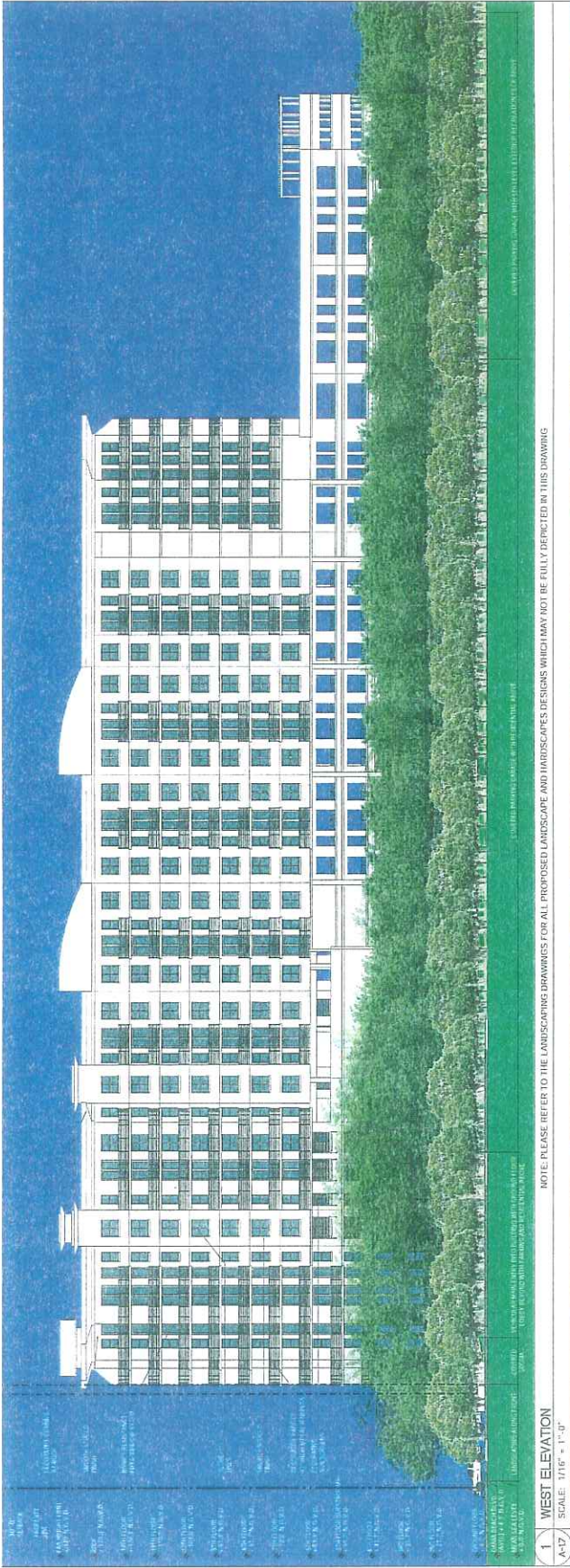
PROJECT ADDRESS
10000 W. BAYVIEW BLVD.
DANIA BEACH, FL 33016

DATE
REVISION
DESCRIPTION

PROJECT TITLE
ROOF PLAN

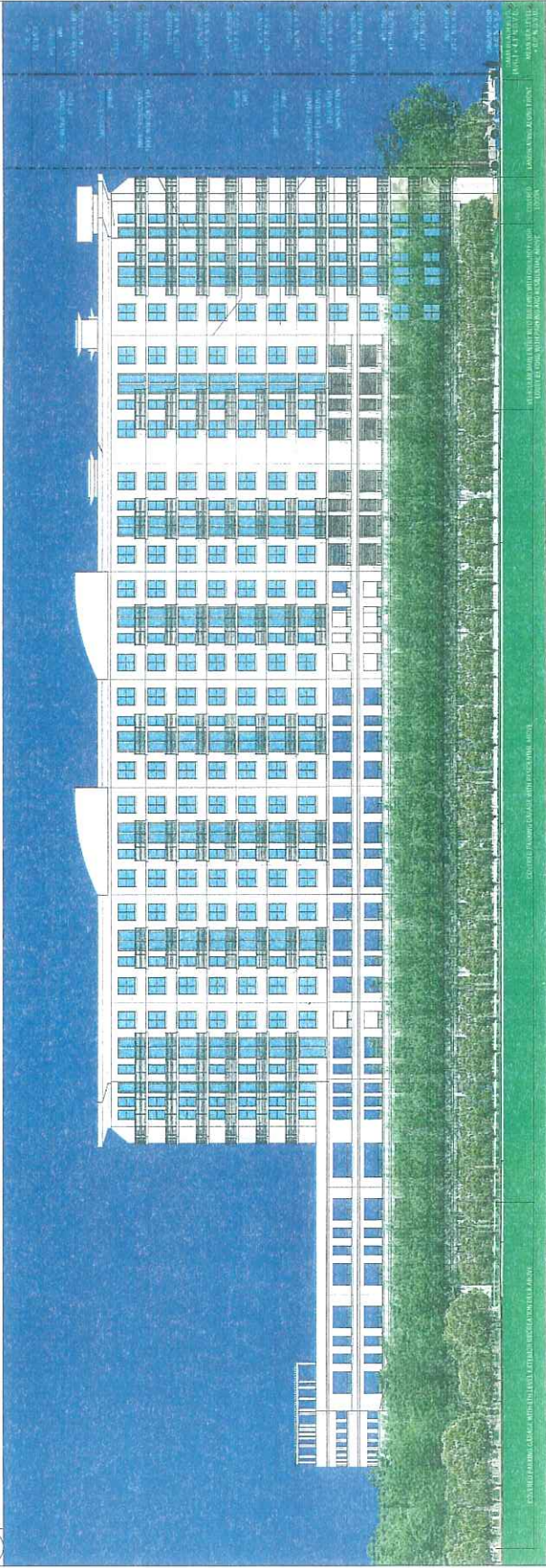
SHEET NO.
A-1.4











1 WEST ELEVATION
SCALE: 1/16" = 1'-0"

NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HARDSCAPE DESIGNS WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING



2 EAST ELEVATION
SCALE: 1/16" = 1'-0"

NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HARDSCAPE DESIGNS WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING

 <p>RG GROUP ARCHITECTURAL PARTNERSHIP 1000 N. UNIVERSITY AVENUE, SUITE 1000 DANIA BEACH, FLORIDA 33009 Phone: (954) 351-1331 Fax: (954) 351-8185</p>	 <p>BERMELO AJAMI & PARTNERS INC. ARCHITECTURAL PARTNERSHIP 1000 N. UNIVERSITY AVENUE, SUITE 1000 DANIA BEACH, FLORIDA 33009 Phone: (954) 351-1331 Fax: (954) 351-8185</p>	 <p>MC LANDSCAPE ARCHITECTS 1000 N. UNIVERSITY AVENUE, SUITE 1000 DANIA BEACH, FLORIDA 33009 Phone: (954) 351-1331 Fax: (954) 351-8185</p>	 <p>SUN TECH ENGINEERING, INC. 1000 N. UNIVERSITY AVENUE, SUITE 1000 DANIA BEACH, FLORIDA 33009 Phone: (954) 351-1331 Fax: (954) 351-8185</p>	 <p>SESCO lighting 1000 N. UNIVERSITY AVENUE, SUITE 1000 DANIA BEACH, FLORIDA 33009 Phone: (954) 351-1331 Fax: (954) 351-8185</p>	 <p>SITE PLAN RESUBMISSION JUNE 2012</p>	<p>PROJECT NAME: SAN SOUCI APARTMENT PROJECT DANIA BEACH, FLORIDA</p> <p>PROJECT ADDRESS: 1000 N. UNIVERSITY AVENUE, SUITE 1000 DANIA BEACH, FLORIDA 33009</p> <p>OWNER: RG GROUP</p> <p>DESIGNER: BERMELO AJAMI & PARTNERS INC.</p> <p>DATE: JUNE 2012</p>	<p>DRAWING TITLE: EAST AND WEST ELEVATIONS</p> <p>SHEET NO.: A-2.1</p>
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RILEY GROUP
 ARCHITECTURE & INTERIOR DESIGN
 1000 N. W. 10th St., Suite 1000
 Fort Lauderdale, FL 33304
 Phone: (954) 571-1111 Fax: (954) 571-1118



BERTELLO ASSOCIATES
 ARCHITECTURE & INTERIOR DESIGN
 1000 N. W. 10th St., Suite 1000
 Fort Lauderdale, FL 33304
 Phone: (954) 571-1111 Fax: (954) 571-1118

MC
MARINO CURRAL
 ARCHITECTURE & INTERIOR DESIGN
 1000 N. W. 10th St., Suite 1000
 Fort Lauderdale, FL 33304
 Phone: (954) 571-1111 Fax: (954) 571-1118

STEA
SUN-TECH ENGINEERING, INC.
 ARCHITECTURAL ENGINEERING
 1000 N. W. 10th St., Suite 1000
 Fort Lauderdale, FL 33304
 Phone: (954) 571-1111 Fax: (954) 571-1118

sesco lighting
 LIGHTING DESIGN & CONSULTING
 1000 N. W. 10th St., Suite 1000
 Fort Lauderdale, FL 33304
 Phone: (954) 571-1111 Fax: (954) 571-1118



SITE PLAN
RESUBMISSION
 JUNE 2017

PROJECT NAME:
SAN SOUCI APARTMENT
PROJECT
DANIA BEACH, FLORIDA

DATE:
 DRAWN:
 CHECKED:
 CADD FILE:

SCALE:
 DATE:
 DRAWN:
 CHECKED:
 CADD FILE:

DATE:
 DRAWN:
 CHECKED:
 CADD FILE:

DATE:
 DRAWN:
 CHECKED:
 CADD FILE:

DRWING TITLE:
PERSPECTIVE
VIEW FROM DANIA
BEACH BOULEVARD


SHEET NO.
A-3.0

1 PERSPECTIVE VIEW FROM DANIA BEACH BOULEVARD

NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HARDSCAPE DESIGNS WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING.


A-3.0 SCALE: N/A




 <p>RGA GROUP ARCHITECTURAL & INTERIOR DESIGN PHOTOGRAPHY & VIDEO</p>	 <p>BERTELLO AJAMIE & PARTNERS INC. ARCHITECTURE 10000 BAYVIEW BLVD, SUITE 1000 DANIA BEACH, FL 33016 TEL: 954.344.1111 FAX: 954.344.1115 WWW.BAARCHITECTS.COM</p>	 <p>MANABO CORRAL LANDSCAPE ARCHITECT 10000 BAYVIEW BLVD, SUITE 1000 DANIA BEACH, FL 33016 TEL: 954.344.1111 FAX: 954.344.1115 WWW.MANABOCORRAL.COM</p>	 <p>SUNTECH ENGINEERING, INC. ENGINEERING & ARCHITECTURE 10000 BAYVIEW BLVD, SUITE 1000 DANIA BEACH, FL 33016 TEL: 954.344.1111 FAX: 954.344.1115 WWW.SUNTECHENGINEERING.COM</p>	 <p>sesco lighting THE ART OF LIGHTING 10000 BAYVIEW BLVD, SUITE 1000 DANIA BEACH, FL 33016 TEL: 954.344.1111 FAX: 954.344.1115 WWW.SESCO.COM</p>	 <p>SITE PLAN RE-SUBMISSION JUNE 2017</p>	<p>PROJECT NAME: SAM SOUCI APARTMENT PROJECT DANIA BEACH, FLORIDA</p> <p>PROJECT ARCHITECT: BERTELLO AJAMIE & PARTNERS INC.</p> <p>SCALE: AS SHOWN</p> <p>DATE: JUNE 2017</p> <p>CONTRACT: CONTRACT</p>	<p>PREPARED BY: ARCHITECT</p> <p>DATE: JUNE 2017</p> <p>PROJECT TITLE: PERSPECTIVE VIEW OF ENTRY PLAZA</p> <p>SHEET NO.: A-3.1</p>
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1 PERSPECTIVE VIEW OF ENTRY PLAZA
A-3.1
SCALE: 1/8" = 1'-0"


NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL FINISHED DIMENSIONS AND MATERIALS. DESIGNERS' DECISIONS WHICH MAY NOT BE FULLY REFLECTED BY THIS DRAWING.




RGA GROUP
ARCHITECTURAL FIRM




BERMELO RAMI, A.
ARCHITECTURE




MARIANO CORRAL
ARCHITECT



SUNTECH ENGINEERING, INC.
MECHANICAL, ELECTRICAL, PLUMBING, AND
HVAC ENGINEERING



sesco lighting
LIGHTING DESIGN



DATE: 06/20/17
BY: [Signature]

SITE PLAN
RESUBMISSION
JUNE 2017

PROJECT NAME:
SAMI SOUCI APARTMENT
PROJECT
DANIA BEACH, FLORIDA

PROJECT ADDRESS:
[Blank]

OWNER:
[Blank]

DATE:
[Blank]

PROJECT:
[Blank]

EXISTING:
[Blank]

CONTRACT:
[Blank]







DRAWING TITLE:
PERSPECTIVE
VIEW OF ENTRY
PLAZA

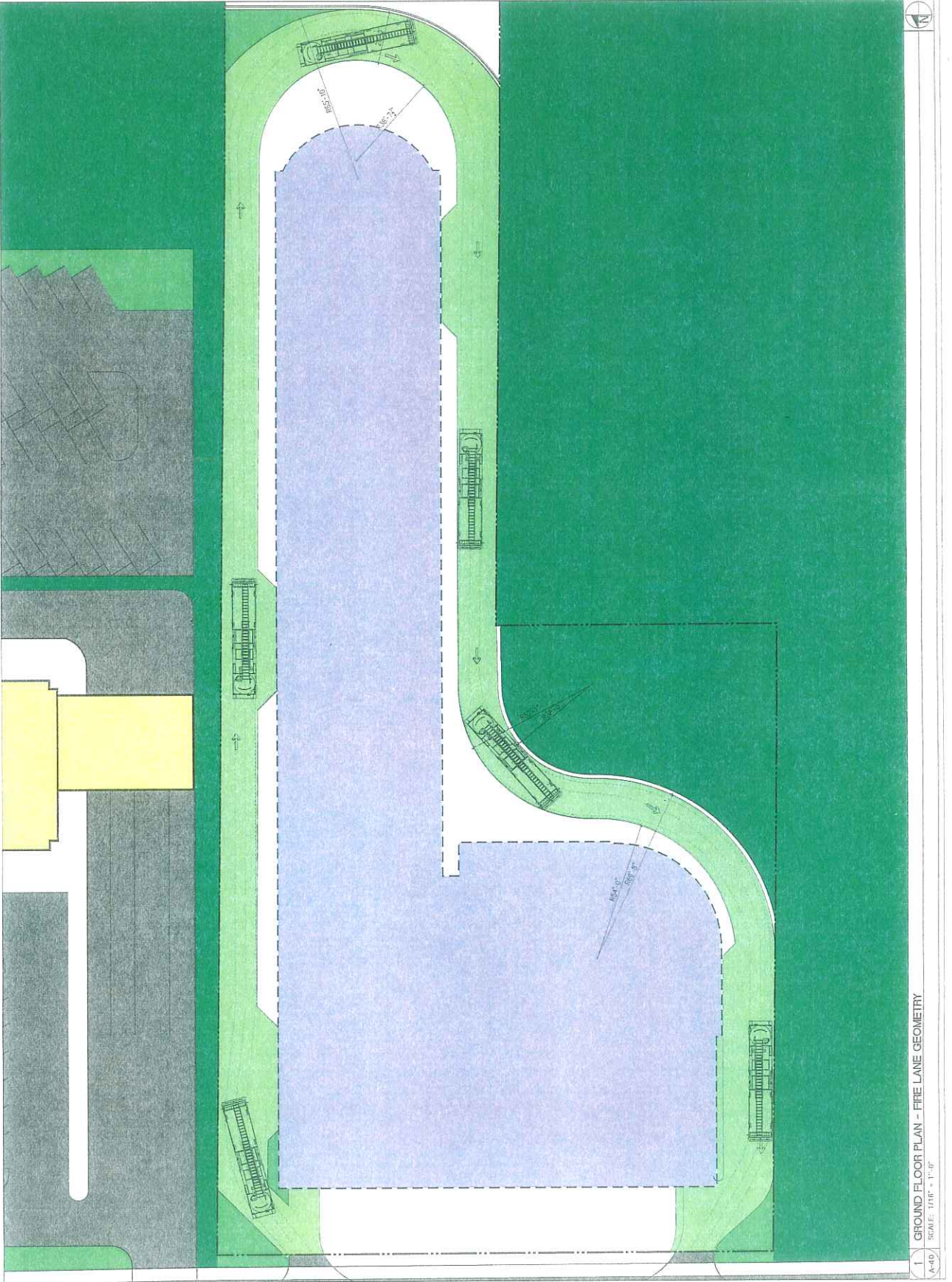
SHEET NO.:
A-3.2



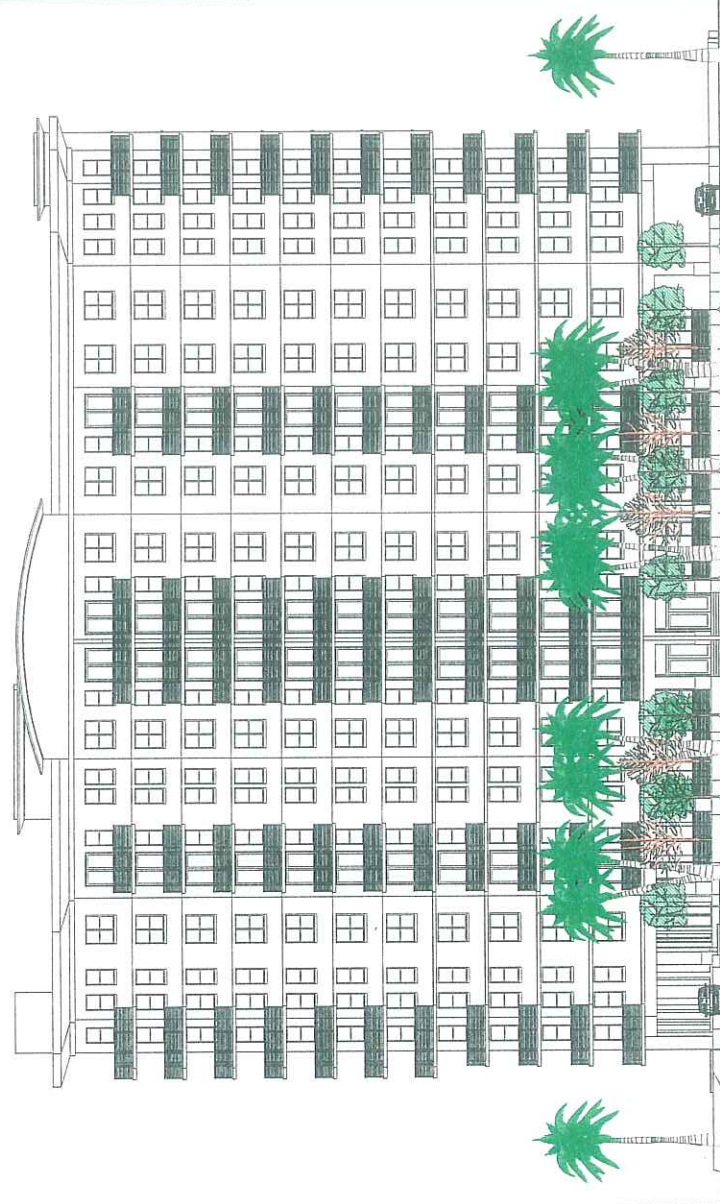
1 PERSPECTIVE VIEW OF ENTRY PLAZA
SCALE: 1/8" = 1'-0"

NOTE: PLEASE REFER TO THE LANDSCAPING DRAWINGS FOR ALL PROPOSED LANDSCAPE AND HIGHLIGHTS DESIGN WHICH MAY NOT BE FULLY DEPICTED IN THIS DRAWING

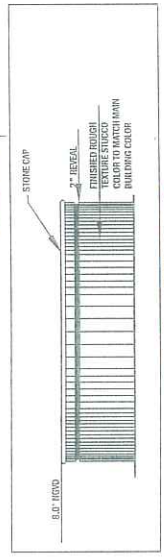
 <p>RILEA GROUP 1000 N. W. 10th Street, Suite 100 Ft. Lauderdale, FL 33304 Phone: (954) 571-1111 Fax: (954) 571-1112 www.rileagroup.com</p>	 <p>BERMELO AMARIL, A ARCHITECTS 1000 N. W. 10th Street, Suite 100 Ft. Lauderdale, FL 33304 Phone: (954) 571-1111 Fax: (954) 571-1112 www.bermelomaril.com</p>	 <p>MARINARO CORRAL ARCHITECTS 1000 N. W. 10th Street, Suite 100 Ft. Lauderdale, FL 33304 Phone: (954) 571-1111 Fax: (954) 571-1112 www.marinarocorral.com</p>	 <p>SUN TECH ENGINEERS, INC. 1000 N. W. 10th Street, Suite 100 Ft. Lauderdale, FL 33304 Phone: (954) 571-1111 Fax: (954) 571-1112 www.suntechengineers.com</p>	 <p>sesco lighting 1000 N. W. 10th Street, Suite 100 Ft. Lauderdale, FL 33304 Phone: (954) 571-1111 Fax: (954) 571-1112 www.sesco-lighting.com</p>	 <p>SITE PLAN RESUBMISSION JUNE 2017</p>	<p>PROJECT NAME: SAN SOUCI APARTMENT PROJECT DANIA BEACH, FLORIDA</p> <p>PROJECT ADDRESS: 1000 N. W. 10th Street, Suite 100 Ft. Lauderdale, FL 33304</p> <p>SCALE: AS SHOWN</p> <p>DATE: JUNE 2017</p> <p>REVISIONS: 1. 06/20/17</p>	<p>DRAWING TITLE: GROUND FLOOR PLAN - FIRE LANE & TRUCK ROUTE</p> <p>SHEET NO.: A-4.0</p>
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1 GROUND FLOOR PLAN - FIRE LANE GEOMETRY
 SCALE: 1/16" = 1'-0"



FRONT ELEVATION
SCALE: 1/8"=1'-0"

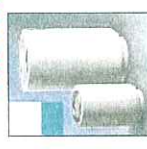


MAIN PLANTER WALL
SCALE: 1/2"=1'-0"

PROPOSED SITE FURNISHINGS



CUSTOM BENCH BY DURIA ART STONE

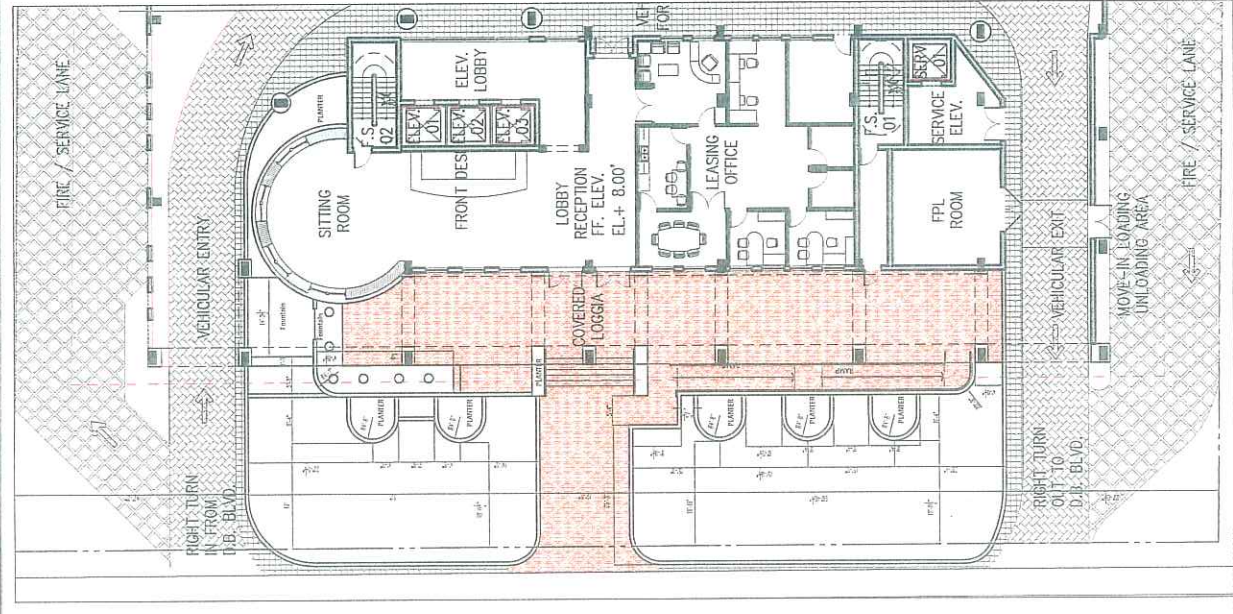


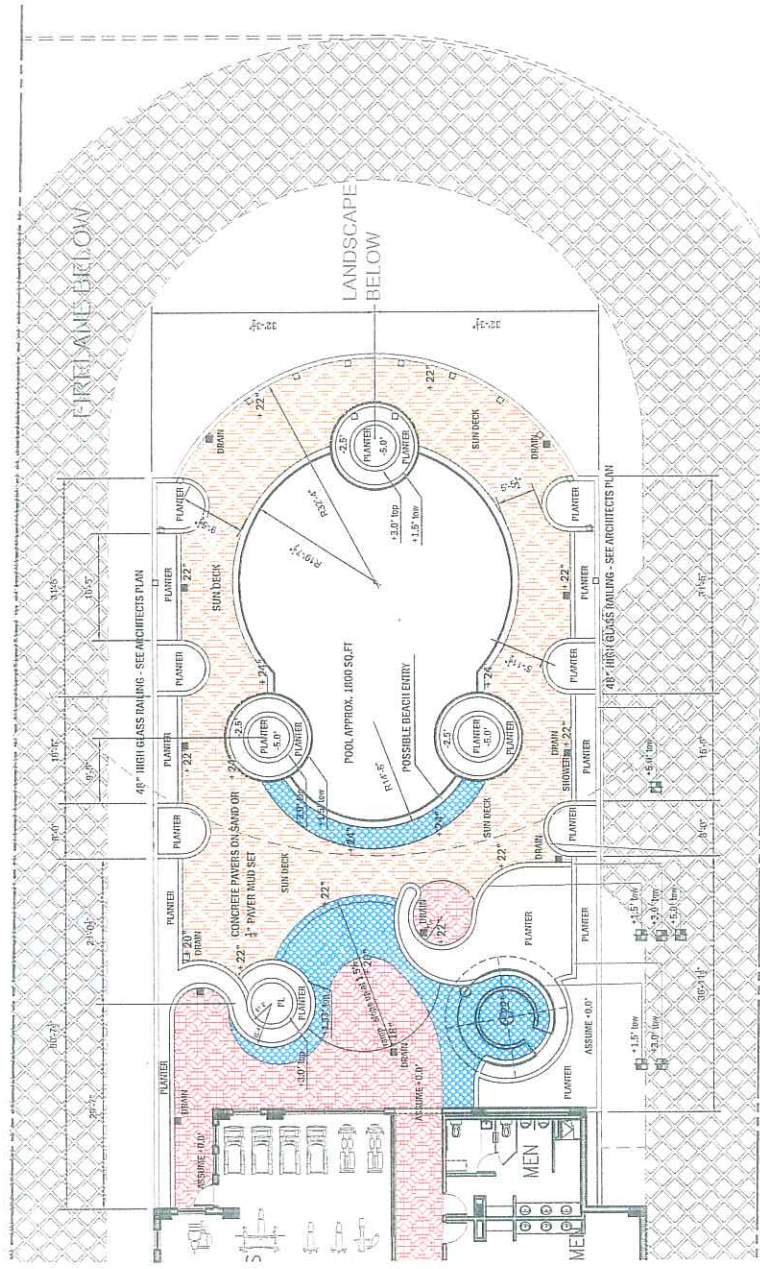
THE CLASSIC TRASH BINS AND ASH URNS BY DURIA ART STONE
MODEL NUMBER TR-B ROUND/TRASH RECEPTABLE AND AL-B-ROUND ASH URN

ITEM	DESCRIPTION	QUANTITY	UNIT
1	CLASSIC TRASH BIN	10	EACH
2	ASH URN	10	EACH
3	TRASH RECEPTABLE	10	EACH
4	ROUND ASH URN	10	EACH

FRONT ENTRY HARDSCAPE PLAN

SCALE: 1"=10'-0"

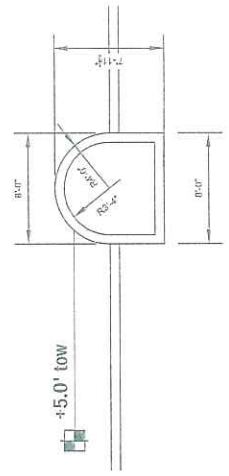
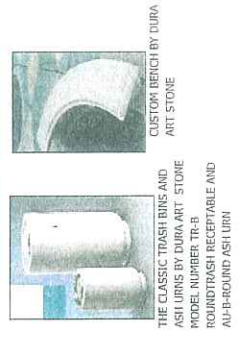




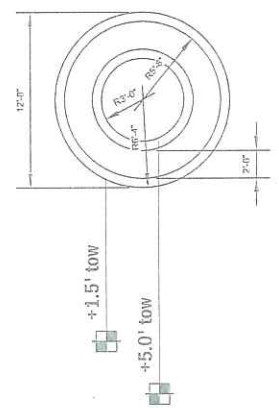
6TH LEVEL POOL DECK HARDSCAPE PLAN

SCALE: 1/8"=1'-0"

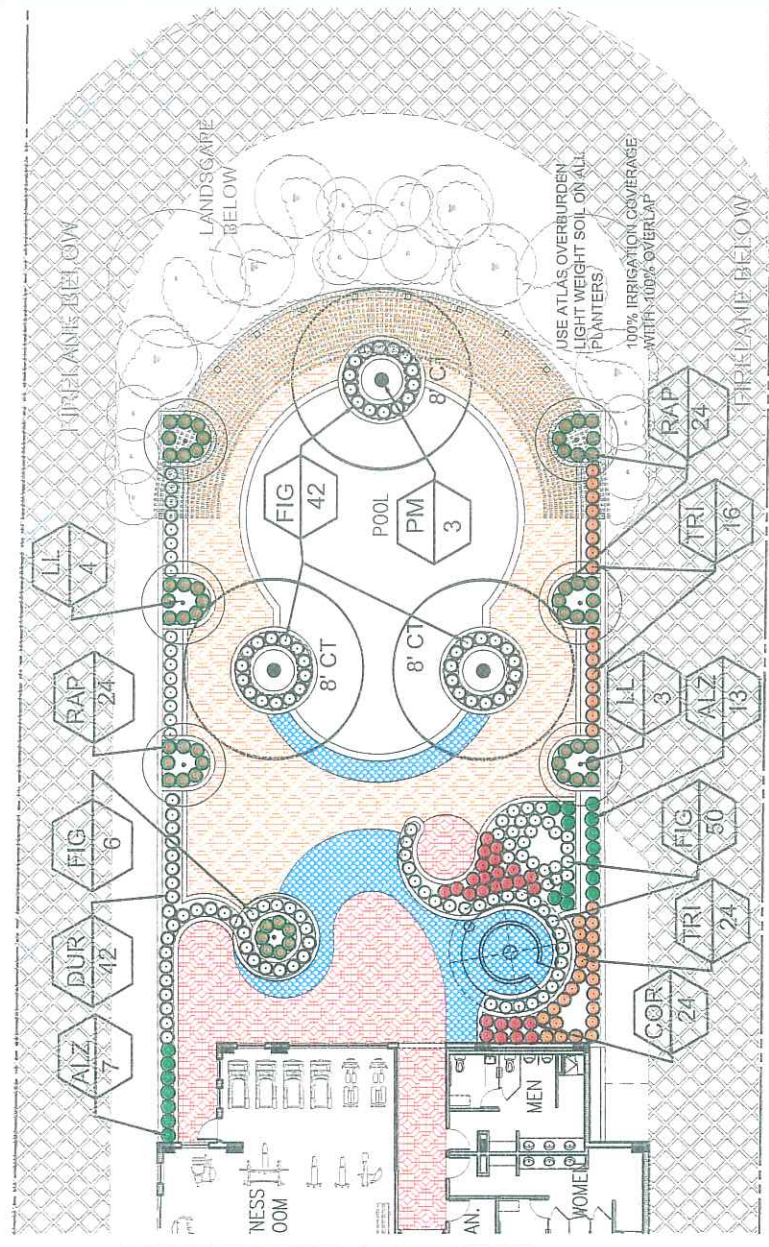
PROPOSED SITE FURNISHINGS



PERIMETER PLANTERS
SCALE: 1/4"=1'-0"



TYPICAL ROUND PLANTERS
SCALE: 1/4"=1'-0"



POOL / 6th LEVEL LANDSCAPE PLAN

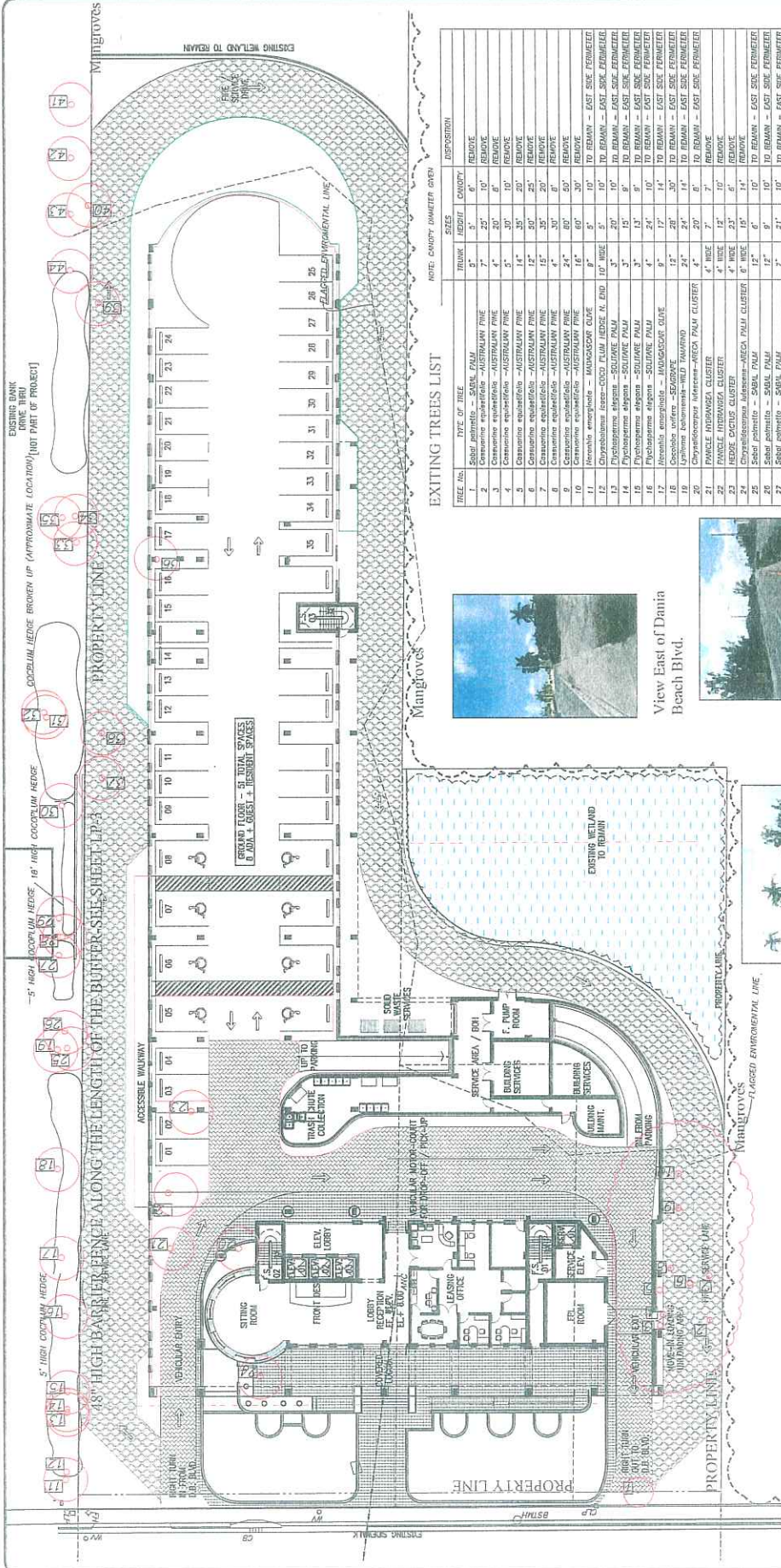
SCALE: 1/8" = 1'-0"

PLANT LIST FOR - SAN SOUJI APARTMENT-POOL AREA

KEY QUANT	BOTANICAL NAMES/ COMMON NAMES	HGT	SPR	CALIPER	TYPE	FLOWERS	XERISCAPE REQ.			REMARKS
							TOLERANCE	SALT	DROUGHT	
LL 7	<i>Livistium japonicum</i> / Japanese Privet	14'	8"	multi-trunk	Medium	white	HIGH	HIGH	HIGH	FLORIDA # 1 MATERIAL
PM 3	<i>Phoenix dissitifera</i> "Medjool" / Medjool Date Palm	22'	8"-10"	GW	PALM		HIGH	HIGH	HIGH	
LL 4	<i>Alphitonia indica</i> / Dwarf Green Island Ficus	24"	20-24"	24"	Conifer	White	Medium	Medium	Medium	Great Palm Tree - for steady impact
FIG 42	<i>Alphitonia indica</i> / Dwarf Green Island Ficus	3'-4'	30"	30"	Conifer	White	Medium	Medium	Medium	Good Tropical Plant - Pink to White showy flowers
FIG 6	<i>Alphitonia indica</i> / Dwarf Green Island Ficus	3'-4'	30"	30"	Conifer	White	Medium	Medium	Medium	Good Detail Plant - Good Leave Color
DUR 42	<i>Duranta Gold Meand</i> / Yellow Duranta	24"	24"	24"	Medicinal	Tri-Color	Med	Med	Med	Good looking low shrub for light spaces and leaf color
FIG 50	<i>Ficus Green Island</i> / Dwarf Green Island Ficus	10"	16"	24" OC	Tree	Pink	HIGH	HIGH	HIGH	Great ground cover for urban areas and light spaces
RAP 24	<i>Raphiophora indica</i> / Dwarf Indian Hawthorn	18"	18"	20"	Medium	Pink	Medium	Medium	Medium	Another Great Median Plant - Good Leave Color
TRI 24	<i>Schefflera arborescens</i> "GOLD CARPANELLA"	24"	24"	24"	Medium	Medium	Medium	High	High	Nice leave color - Looks good as an Hedge or Low cut plant

Plant Palette





EXITING TREES LIST

NOTE: CIRCUM DIAMETER OVER

TREE No.	TYPE OF TREE	TRUNK	HEIGHT	CANOPY	DISPOSITION
1	Sabal palmetto - SABAL PALM	7"	25'	10'	REMOVE
2	Casuarina equisetifolia - AUSTRALIAN PINE	7"	25'	10'	REMOVE
3	Casuarina equisetifolia - AUSTRALIAN PINE	4"	20'	8'	REMOVE
4	Casuarina equisetifolia - AUSTRALIAN PINE	4"	20'	8'	REMOVE
5	Casuarina equisetifolia - AUSTRALIAN PINE	4"	20'	8'	REMOVE
6	Casuarina equisetifolia - AUSTRALIAN PINE	12"	35'	20'	REMOVE
7	Casuarina equisetifolia - AUSTRALIAN PINE	15"	35'	20'	REMOVE
8	Casuarina equisetifolia - AUSTRALIAN PINE	4"	30'	8'	REMOVE
9	Casuarina equisetifolia - AUSTRALIAN PINE	4"	30'	8'	REMOVE
10	Casuarina equisetifolia - AUSTRALIAN PINE	4"	30'	8'	REMOVE
11	Casuarina equisetifolia - AUSTRALIAN PINE	4"	30'	8'	REMOVE
12	Chorizanthe sp. - COCK FLYING DUTCHMAN	14"	60'	30'	REMOVE
13	Chorizanthe sp. - COCK FLYING DUTCHMAN	14"	60'	30'	REMOVE
14	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
15	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
16	Psychotrias elegans - SOLIDARE PALM	4"	24'	10'	TO REMAIN - EAST SIDE PERIMETER
17	Horsetail - HORSETAIL	9"	17'	14'	TO REMAIN - EAST SIDE PERIMETER
18	Horsetail - HORSETAIL	9"	17'	14'	TO REMAIN - EAST SIDE PERIMETER
19	Horsetail - HORSETAIL	9"	17'	14'	TO REMAIN - EAST SIDE PERIMETER
20	Chorizanthe sp. - COCK FLYING DUTCHMAN	4"	20'	8'	TO REMAIN - EAST SIDE PERIMETER
21	FRAXILE (DORADO) CLUSTER	4"	18'	7'	REMOVE
22	FRAXILE (DORADO) CLUSTER	4"	18'	7'	REMOVE
23	HEDE DACTYLUS CLUSTER	4"	18'	7'	REMOVE
24	Chorizanthe sp. - COCK FLYING DUTCHMAN	8"	15'	14'	REMOVE
25	Sabal palmetto - SABAL PALM	12"	12'	12'	REMOVE
26	Sabal palmetto - SABAL PALM	12"	12'	12'	REMOVE
27	Sabal palmetto - SABAL PALM	12"	12'	12'	REMOVE
28	Sabal palmetto - SABAL PALM	12"	12'	12'	REMOVE
29	Sabal palmetto - SABAL PALM	12"	12'	12'	REMOVE
30	PALM CLUSTER	6"	18'	15'	TO REMAIN - EAST SIDE PERIMETER
31	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
32	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
33	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
34	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
35	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
36	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
37	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
38	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
39	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
40	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
41	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
42	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
43	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER
44	Psychotrias elegans - SOLIDARE PALM	3"	15'	10'	TO REMAIN - EAST SIDE PERIMETER

EXISTING LANDSCAPE OVER PROPOSED DEVELOPMENT PLAN
 SCALE: 1/16"=1'-0"



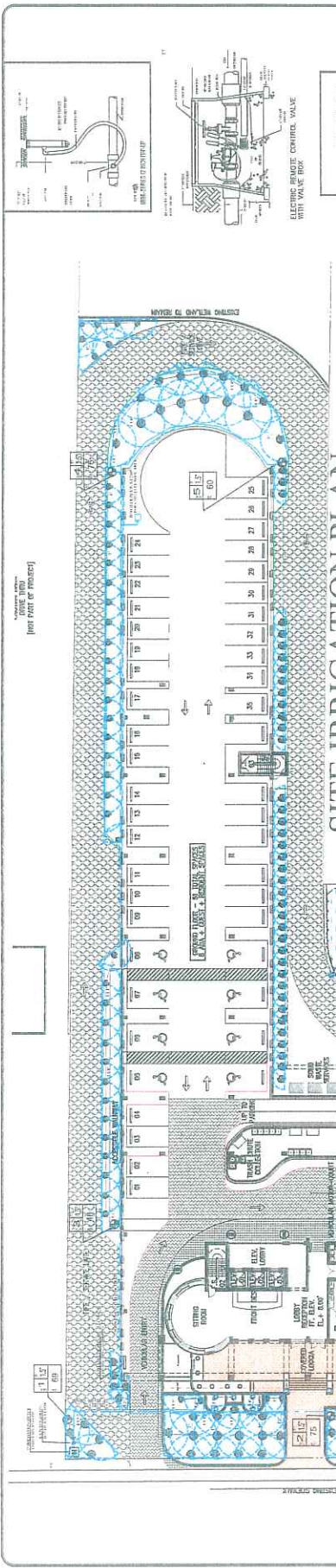
View East of Dania Beach Blvd.
 West View of Dania Beach Blvd.
 View West from Bank side of East side Property of buffer to protect.
 Looking South-East at existing Bank Buffer to remain and protect.
 Looking South at Front of Property Area Palm Cluster #24
 West View-You can see Sabal Palm-#1 and the Australian Pines-#2-10 on tree list


ba BENEVOLE AJMAL + PARTNERS INC
 FLEA GROUP

SAN SOUJI APARTMENT PROJECT
 2601 EAST BEACH BOULEVARD
 MIAMI BEACH, FLORIDA

NORTH

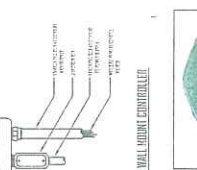

REVIEW: AS NOTED
 PROJECT NUMBER: 13155-01
 DATE: 03-26-2012
 REVIEWED SITE AS PER CITY COMMENTS AND ADDED INFO AS PER CITY COMMENTS OF SUBMISSION
 DRAWING NO.: IR-1
 DATE: 06/26/2012



- 1) EXISTING CONC. IS TO BE REMOVED FOR THIS EXIST. FORM ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER.
- 2) EXISTING CONC. IS TO BE REMOVED FOR THIS EXIST. FORM ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER.
- 3) EXISTING CONC. IS TO BE REMOVED FOR THIS EXIST. FORM ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER.
- 4) EXISTING CONC. IS TO BE REMOVED FOR THIS EXIST. FORM ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER.
- 5) EXISTING CONC. IS TO BE REMOVED FOR THIS EXIST. FORM ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER.
- 6) EXISTING CONC. IS TO BE REMOVED FOR THIS EXIST. FORM ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER.

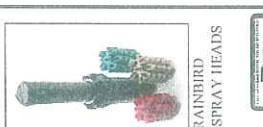
IRRIGATION SCHEDULE

ITEM #	DESCRIPTION	QTY
1	2" M.P. 1/2" SLOTTED DRAIN TUBES	43
2	2" M.P. 1/2" SLOTTED DRAIN TUBES	50
3	2" M.P. 1/2" SLOTTED DRAIN TUBES	85
4	2" M.P. 1/2" SLOTTED DRAIN TUBES	65



MANUFACTURER/SPECIFICATIONS

ITEM #	DESCRIPTION	QTY
1	2" M.P. 1/2" SLOTTED DRAIN TUBES	43
2	2" M.P. 1/2" SLOTTED DRAIN TUBES	50
3	2" M.P. 1/2" SLOTTED DRAIN TUBES	85
4	2" M.P. 1/2" SLOTTED DRAIN TUBES	65



6th LEVEL IRRIGATION PLAN
 SCALE: 1"=20'-0"

SITE PLAN - RESUBMITTAL
 JUNE 7th, 2012

1) EXISTING CONC. IS TO BE REMOVED FOR THIS EXIST. FORM ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER.

2) EXISTING CONC. IS TO BE REMOVED FOR THIS EXIST. FORM ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER.

3) EXISTING CONC. IS TO BE REMOVED FOR THIS EXIST. FORM ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER.

4) EXISTING CONC. IS TO BE REMOVED FOR THIS EXIST. FORM ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER.

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6) EXISTING CONC. IS TO BE REMOVED FOR THIS EXIST. FORM ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER AND TO BE REPLACED WITH CONCRETE FOR ALL EXISTING PERIMETER.



RGA GROUP
10000 W. BOULEVARD, SUITE 100
FORT MYERS, FL 33907
PHONE: 888.888.8888



BEMELLO AMALIA & ASSOCIATES
10000 W. BOULEVARD, SUITE 100
FORT MYERS, FL 33907
PHONE: 888.888.8888



MC
MARINO CORRAL
10000 W. BOULEVARD, SUITE 100
FORT MYERS, FL 33907
PHONE: 888.888.8888



SUNTECH ENGINEERING, INC.
10000 W. BOULEVARD, SUITE 100
FORT MYERS, FL 33907
PHONE: 888.888.8888



PAVING CONTRACTOR
10000 W. BOULEVARD, SUITE 100
FORT MYERS, FL 33907
PHONE: 888.888.8888

DATE: JUN 14 2017
TIME: 10:00 AM

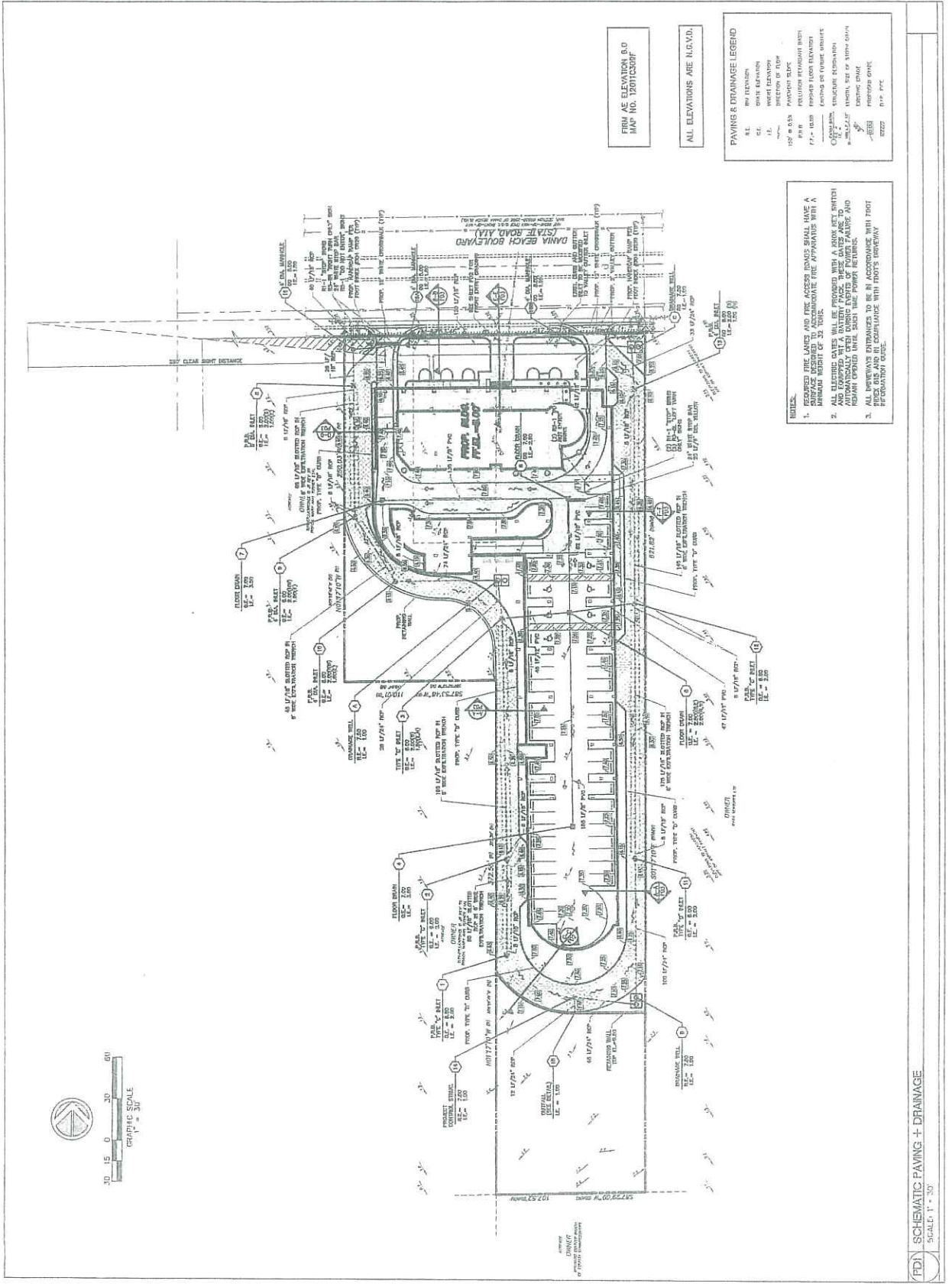
SITE PLAN SUBMITTAL
10.00.00

PROVISIONS:
1. 500.00' - SEE SEE B.C.C.

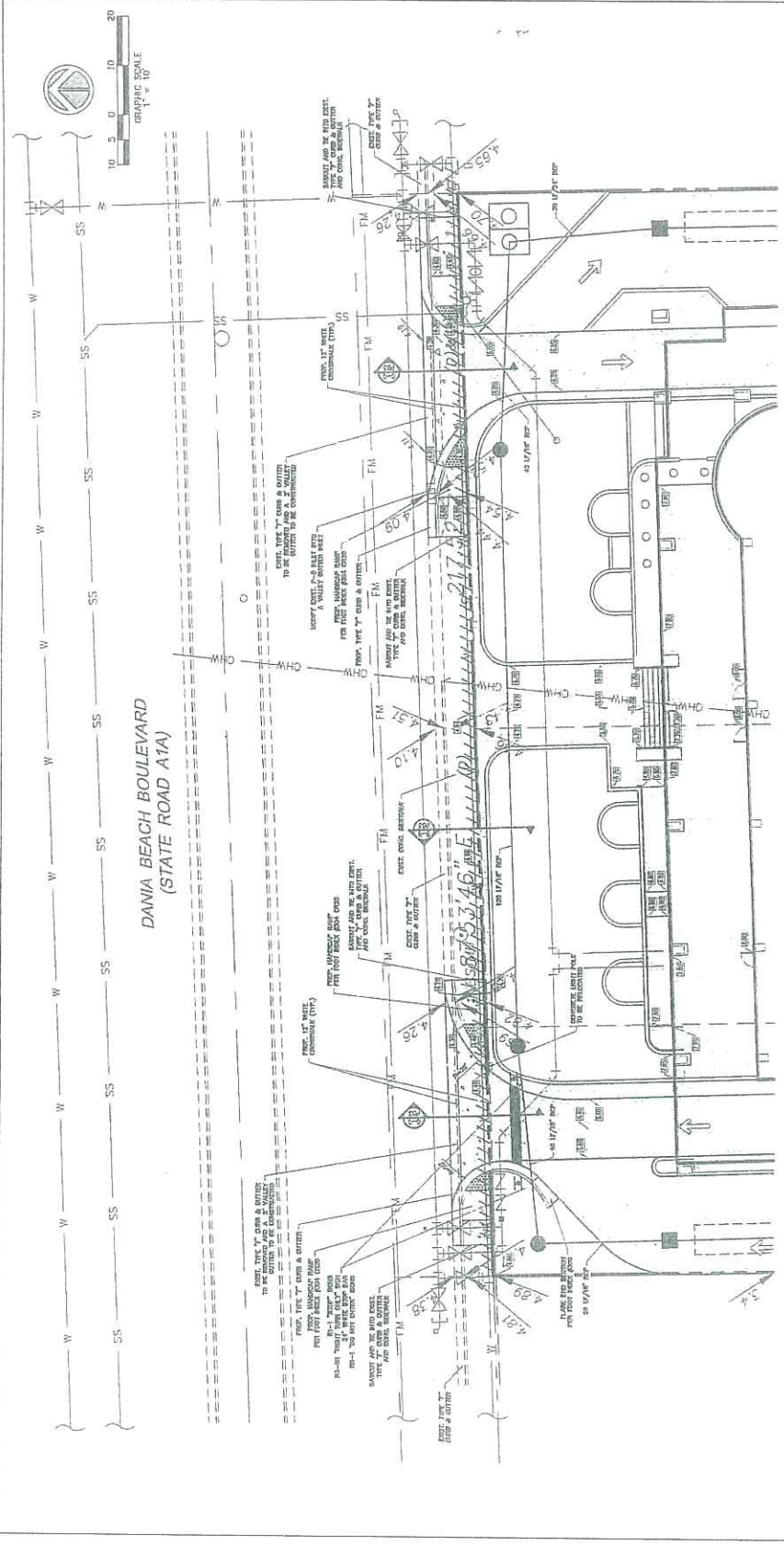
PERMITS:
SAN SOUIC HOTEL PROJECT
DANA BEACH, FLORIDA

REVISIONS:
1. 500.00' - SEE SEE B.C.C.





REVISIONS:
1. 500.00' - SEE SEE B.C.C.



 RG REEA GROUP 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.reegroup.com	 oa ARCHITECTURAL FIRM BERNIELLO ANIMAL & PARTNERS INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.oa.com	 MC MARANO CORRAL 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.marano.com	 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com	 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com	 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com	 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com	 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com	 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com	 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com	 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com	 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com
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NOTES:
 1. CROSSWALKS TO PROVIDE MAX 2% CROSS SLOPE AND 8% LONGITUDINAL SLOPE.

 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com	 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com	 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com	 SMA TECH SIA-Tech ENGINEERING, INC. 10000 BAYVIEW BLVD, SUITE 200 BAYVIEW, FL 33154 Phone: 305-228-1111 Fax: 305-228-1112 www.siatech.com
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 10000 N. W. 11th Ave., Suite 100
 Fort Lauderdale, FL 33304
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 www.rga.com



PARTNERS IN ANIMAL & PARTNERS INC.
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 Fort Lauderdale, FL 33304
 (954) 576-1111
 www.pia.com



MC
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 Fort Lauderdale, FL 33304
 (954) 576-1111
 www.mc.com



SUNTECH ENGINEERING, INC.
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 (954) 576-1111
 www.suntech.com



SUNTECH ENGINEERING
 10000 N. W. 11th Ave., Suite 100
 Fort Lauderdale, FL 33304
 (954) 576-1111
 www.suntech.com

SITE PLAN SUBMITTAL
 12.10.10

PROJECT:
 SAN SOUCI HOTEL PROJECT
 DANIA BEACH, FLORIDA

CONTRACT NO.: 11-15
SCALE: SEE PLAN
DATE: 12.10.10
DESIGNER: SEE PLAN
CHECKED BY: SEE PLAN

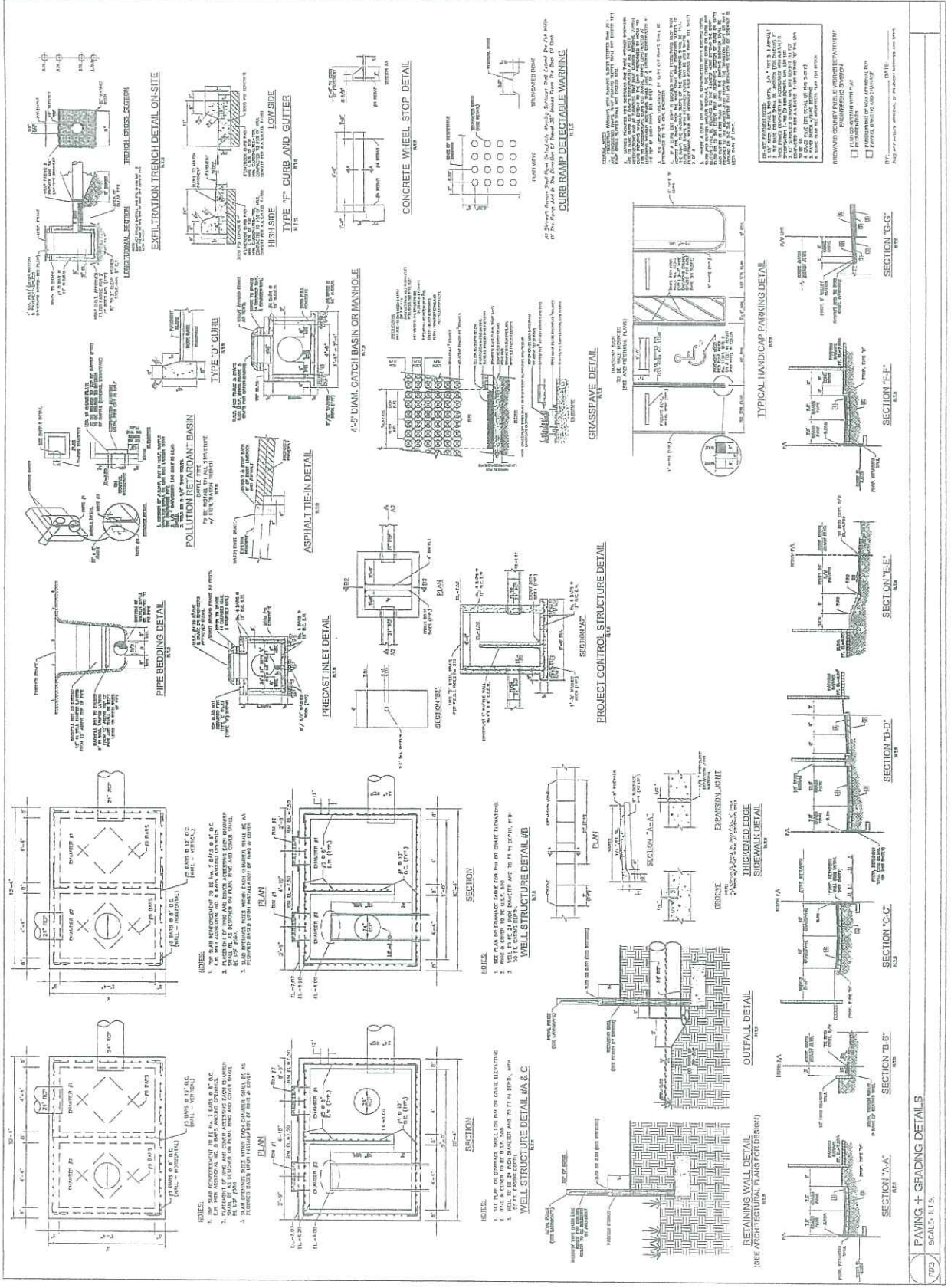
REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	12/10/10	SEE PLAN	ISSUED FOR PERMIT

CONTRACT NO.: 11-15
SCALE: SEE PLAN
DATE: 12.10.10
DESIGNER: SEE PLAN
CHECKED BY: SEE PLAN

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	12/10/10	SEE PLAN	ISSUED FOR PERMIT



PROJECT NAME:
SAN SOUCI HOTEL PROJECT
DANIA BEACH, FLORIDA

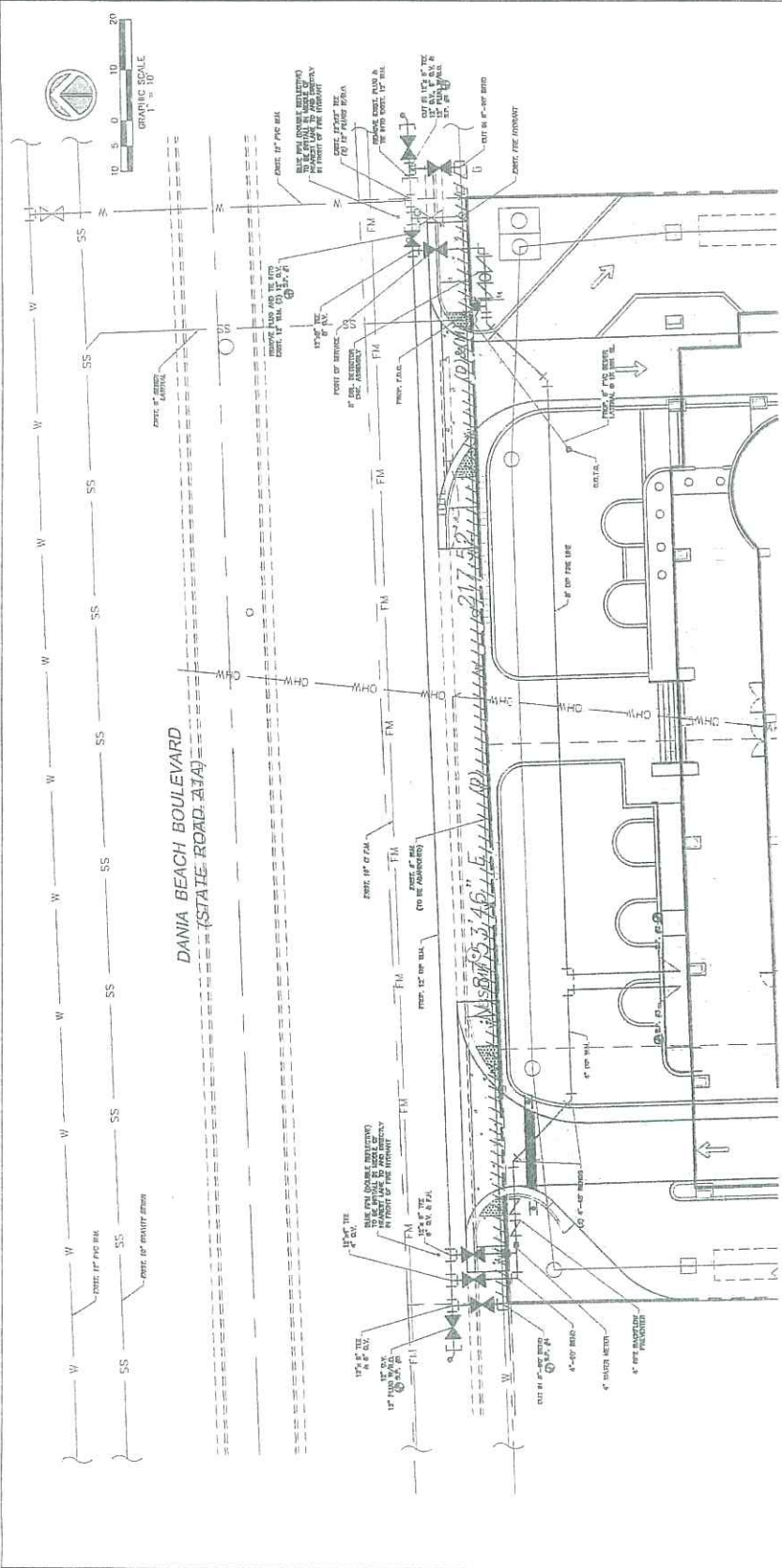
DATE:
JUN 01 2012

SITE PLAN SUBMITTAL
1202010

PROJECT ADDRESS:
17177 W. 27TH AVENUE TO BLUE BLVD

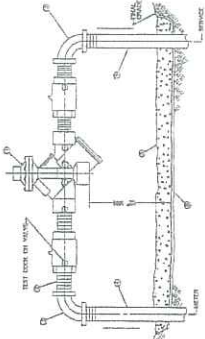
SCALE:
AS SHOWN

ENGINEER'S TITLE:
SCHEMATIC WATER & SEWER PLAN



WATER & SEWER LEGEND

Symbol	Description
Circle with 'W'	WATER MAIN
Circle with 'S'	SEWER MAIN
Circle with 'F'	FIRE MAIN
Circle with 'V'	VALVE
Circle with 'H'	HYDRANT
Circle with 'M'	MANHOLE
Circle with 'E'	ELECTRICAL
Circle with 'G'	GENERATOR
Circle with 'P'	PUMP
Circle with 'R'	RESERVOIR
Circle with 'L'	LIFT STATION
Circle with 'D'	DRAINAGE
Circle with 'C'	CATCH BASIN
Circle with 'I'	INLET
Circle with 'O'	OUTLET
Circle with 'A'	APPROXIMATE
Circle with 'B'	BENCH MARK
Circle with 'T'	TIE
Circle with 'X'	CROSSING
Circle with 'Y'	Y
Circle with 'Z'	Z



(LISTED) DOUBLE DETECTOR CHECK

ITEM	DESCRIPTION	QUANTITY	UNIT
1	DOUBLE DETECTOR CHECK	1	EA
2	12" DIA. CONCRETE MANHOLE	1	EA
3	12" DIA. CONCRETE INLET	1	EA
4	12" DIA. CONCRETE OUTLET	1	EA
5	12" DIA. CONCRETE CHECK VALVE	1	EA
6	12" DIA. CONCRETE DETECTOR	1	EA
7	12" DIA. CONCRETE MANHOLE COVER	1	EA
8	12" DIA. CONCRETE DETECTOR COVER	1	EA
9	12" DIA. CONCRETE CHECK VALVE COVER	1	EA
10	12" DIA. CONCRETE DETECTOR COVER	1	EA

PREDICTED WATER AND SEWER DEMAND:
 122 RESIDUAL APARTMENT UNITS - 174.8 GPD/APARTMENT - 45,296 GPD
 TOTAL DAILY DOMESTIC WATER DEMAND - 45,296 GPD
 PREDICTED DRAINAGE DEMAND:
 101 APARTMENT UNITS @ 8.0 GPD/APARTMENT - 808 GPD

REVISIONS

NO.	DATE	DESCRIPTION
1	JULY 2012	ISSUE FOR PERMITTING

PROJECT NAME
SAN SOUICI HOTEL PROJECT
DANIA BEACH, FLORIDA

DESIGNED BY
BERMELLO ANJALI & ASSOCIATES

CHECKED BY
[Name]

SCALE
AS SHOWN

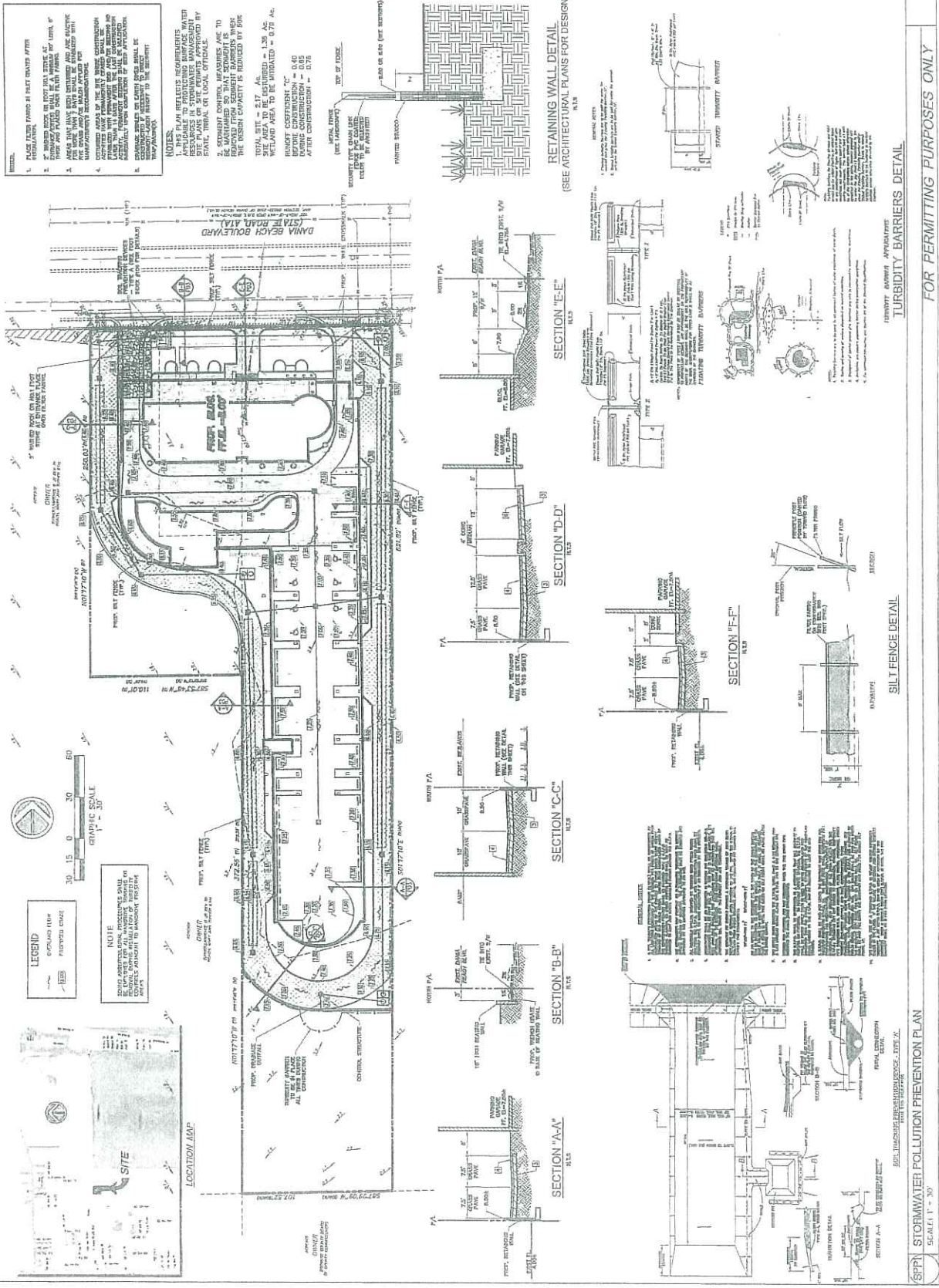
DATE
JULY 2012

ENGINEERING
SAN SOUICI HOTEL PROJECT
DANIA BEACH, FLORIDA

DATE
JULY 2012

ISSUING THE POLLUTION PREVENTION PLAN

SPP1





PILEA GROUP
12101 BAYVIEW BLVD., SUITE 100
DALLAS, TEXAS 75244
PHONE: (972) 468-2222
WWW.PILEA.COM

ba
1550 W. BEAR CREEK
DALLAS, TEXAS 75244
PHONE: (972) 292-9900
WWW.BA-CORP.COM

BERMELLO AMARIL &
PARTNERS INC
2100 N. GALENA DRIVE
DALLAS, TEXAS 75244
PHONE: (972) 468-2222
WWW.BAMAPARTNERS.COM

MC
1550 W. BEAR CREEK
DALLAS, TEXAS 75244
PHONE: (972) 292-9900
WWW.MC-CORP.COM

TECH
SMALL ENGINEERING INC
1550 W. BEAR CREEK
DALLAS, TEXAS 75244
PHONE: (972) 292-9900
WWW.TECH-SMALL.COM

SMALL ENGINEERING INC
1550 W. BEAR CREEK
DALLAS, TEXAS 75244
PHONE: (972) 292-9900
WWW.SMALL-ENGINEERING.COM

DATE: July 25, 2012
PROJECT: [blacked out]

SCALE: [blacked out]

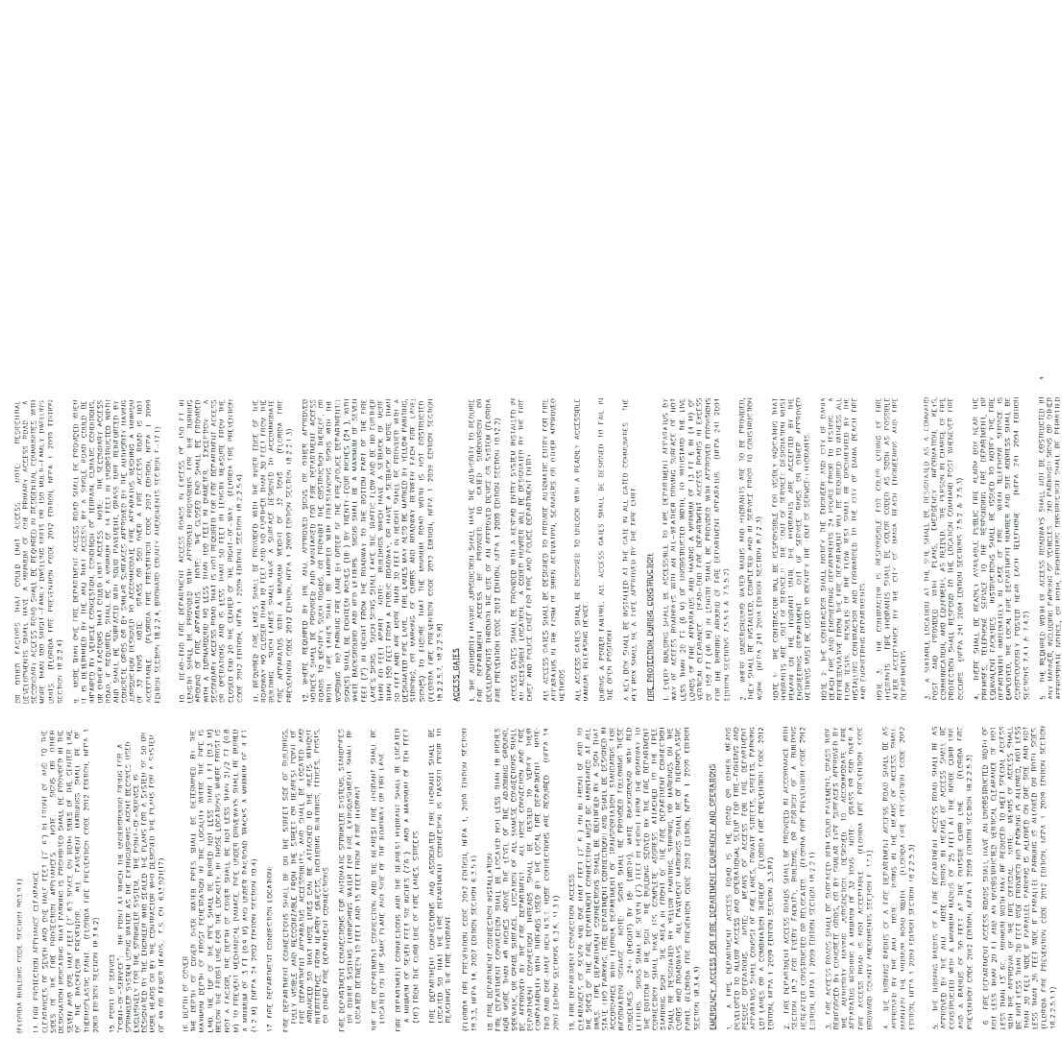
SITE PLAN
SUBMITTAL

PROJECT NAME:
SAN SOUJI
DANIA BEACH, FLORIDA

PROJECT INFORMATION


CRAWL NO.	1115
DATE	DEC 2008
ISSUED	NOV
SCALE	3/16"=1'-0"

ISSUED FOR: FIRE PROTECTION
DETAILS
SHEET NO. FP3




GENERAL NOTES:
1. THE OWNER SHALL PROVIDE ALL ACCESS, EGRESS, AND ELEVATION INFORMATION NECESSARY FOR THE DESIGN OF THE PROTECTION SYSTEM. THE DESIGNER SHALL VERIFY THE ACCURACY OF THIS INFORMATION.
2. THE PROTECTION SYSTEM SHALL BE DESIGNED TO PROTECT THE LIFE AND PROPERTY OF THE OCCUPANTS OF THE BUILDING. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE BUILDING.
3. THE PROTECTION SYSTEM SHALL BE DESIGNED TO PROTECT THE LIFE AND PROPERTY OF THE OCCUPANTS OF THE BUILDING. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE BUILDING.
4. THE PROTECTION SYSTEM SHALL BE DESIGNED TO PROTECT THE LIFE AND PROPERTY OF THE OCCUPANTS OF THE BUILDING. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE BUILDING.
5. THE PROTECTION SYSTEM SHALL BE DESIGNED TO PROTECT THE LIFE AND PROPERTY OF THE OCCUPANTS OF THE BUILDING. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE BUILDING.


FP3 FIRE PROTECTION DETAILS
SHEET 11/5




RGA GROUP
1000 BIRCHWOOD AVENUE, SUITE 100
DANIA BEACH, FLORIDA 33019
Phone: 754.321.7200 Fax: 754.321.7201




BIA
BERTELLO AJAMIL & PARTNERS INC.
1000 BIRCHWOOD AVENUE, SUITE 100
DANIA BEACH, FLORIDA 33019
Phone: 754.321.7200 Fax: 754.321.7201




MC
MANAGER ARCHITECTURE
1000 BIRCHWOOD AVENUE, SUITE 100
DANIA BEACH, FLORIDA 33019
Phone: 754.321.7200 Fax: 754.321.7201



SST
SUNSHINE SERVICES, INC.
1000 BIRCHWOOD AVENUE, SUITE 100
DANIA BEACH, FLORIDA 33019
Phone: 754.321.7200 Fax: 754.321.7201



SESCO Lighting
1000 BIRCHWOOD AVENUE, SUITE 100
DANIA BEACH, FLORIDA 33019
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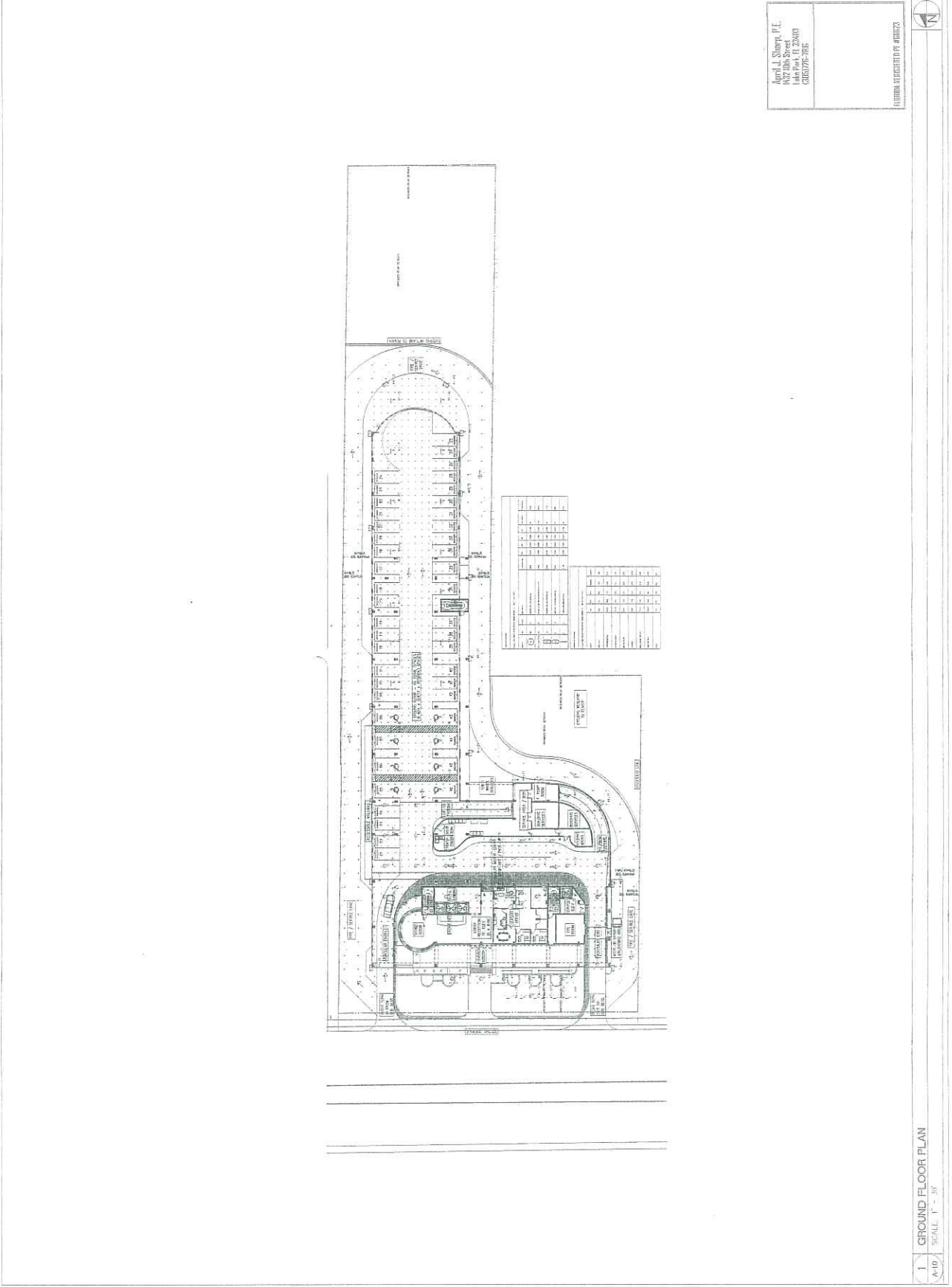
SITE PLAN MODIFICATION
MAY 2012

PROJECT NAME:
SAN SOUZI APARTMENT PROJECT
DANIA BEACH, FLORIDA

PROJECT ADDRESS:
1000 BIRCHWOOD AVENUE, SUITE 100
DANIA BEACH, FLORIDA 33019

OWNER:
SCALE:
DRAWN BY:
CHECKED BY:
DATE:

DESIGNER TITLE:
GROUND FLOOR PLAN



April J. Sherry, P.E.
1000 Birchwood Street
Dania Beach, FL 33019
688777-1000

PROFESSIONAL SEAL OF APRIL J. SHERRY